

**ARCHULETA COUNTY  
BOARD OF COUNTY COMMISSIONERS**

**CALL TO ORDER THE REGULAR MEETING OF THE BOARD OF COUNTY  
COMMISSIONERS OF NOVEMBER 15, 2016 AT 1:30 P.M.**

**PLEDGE OF ALLEGIANCE**

**MOMENT OF SILENCE**

**DISCLOSURES AND/OR CONFLICT OF INTEREST**

**APPROVAL OR ADJUSTMENTS TO AGENDA**

\* Executive Session - Specific Agenda Topic

**PUBLIC COMMENTS FROM THE FLOOR\***

This is an opportunity during the session for the public to address the Commissioner. Please step up to the podium, **STATE YOUR NAME AND ADDRESS FOR THE RECORD** and keep your comments to 3 minutes (**the Board is not required to discuss your comment or make a decision regarding your comment, under this section**).

**BOARD OF ADJUSTMENTS HEARING**

**A. Consideration Of Board Of Adjustment Resolution 2016-16BOA Approving Variance From Archuleta County Land Use Regulations For Parcel 3, Ridgeview Subdivision Replat**

Request to consider and approve a Resolution of the Board of Adjustment stating Findings and Conditions for Approval of the Webb Request for the Holiday RV South Variance from Paving, Parcel 3, Ridgeview Subdivision Replat (PLN16-055). Variance approved November 1, 2016.

Presenter                      John Shepard, AICP  
Presenter's Title              Planning Manager

Documents:

[BOA\\_RESOLUTION\\_2016-16\\_HOLIDAY\\_RV\\_SOUTH\\_VAR\\_PAVING.PDF](#)

**B. Board Of Adjustment Public Hearing Of Veterans Memorial Park Variances From Paving And Landscaping, Tract B-1, Pagosa Vista Exemption**

Veterans Memorial Park of Archuleta County, represented by Harold George, has applied for the Veterans Memorial Park Variances from Paving and Landscaping, on property owned by Board of County Commissioners of Archuleta County, Tract B-1, Pagosa Vista Exemption, located on Vista Boulevard, Pagosa Springs, CO (PLN16-092). The request is for Variance from Sections 27.1.7.3 and 27.1.7.4 of the Archuleta County Road and Bridge Design Standards and Section 5.4.5.4 of the Archuleta County Land Use Regulations requiring paving of access and parking, and Section 5.4.1.6(5) Parking Area landscaping, in the Planned Unit Development

(PUD) zone. Veterans Memorial Park has made a concurrent application for a Land Use Permit to establish a 6.9 acre public park.

Presenter                    John Shepard, AICP  
Presenter's Title        Planning Manager

Documents:

[PLN16-092\\_VETERANS\\_PARK-BOA\\_20161115-STAFFREPORT.PDF](#)  
[A1-PLN16-092\\_AREAMAPS.PDF](#)  
[A2-PLN16-092\\_REVIEW\\_COMMENTS.PDF](#)  
[A3-PLN16-091\\_092\\_VETERANS\\_MEMORIAL\\_PARK-NARRATIVE.PDF](#)  
[A4A-PLN16-091\\_092\\_VETERANS\\_PARK\\_1-REV20161017\(HALF\).PDF](#)  
[A4B-PLN16-091\\_092\\_VETERANS\\_PARK\\_2-REV20161017\(HALF\).PDF](#)  
[A4C-PLN16-091\\_092\\_VETERANS\\_PARK\\_3-REV20161017\(HALF\).PDF](#)

## LAND USE REGULATION HEARING

### A. **Consideration Of Resolution 2016-\_\_\_ Approving Webb Request For Holiday RV South Conditional Use Permit, Parcel 3, Ridgeview Subdivision Replat**

Request to consider and approve a Resolution stating Findings and Conditions for Approval of the Webb request for the Holiday RV South Conditional Use Permit (CUP), on property owned by Bruce Lamereaux; being Parcel 3, Ridgeview Subdivision Replat, at 633 Navajo Trail, Pagosa Springs, CO (PLN16-054). The Board approved the CUP (3-0) with conditions on November 1, 2016.

Presenter                    John Shepard, AICP  
Presenter's Title        Planning Manager

Documents:

[BOCC RESOLUTION 2016-\\_\\_\\_ HOLIDAY RV SOUTH CUP.PDF](#)

### B. **Public Hearing Of Western Heritage Event Center Request For WHEC Agricultural Education And Equestrian Event Center Conditional Use Permit, Lot 2M, Fairgrounds Minor Impact Subdivision**

Western Heritage Event Center, Inc., represented by Jess Ketchum, has applied for the WHEC Agricultural Education and Equestrian Event Center Conditional Use Permit (CUP), on Lot 2M, Fairgrounds Minor Impact Subdivision, at 344A US Hwy 84 (corner of County Road 302), Pagosa Springs, CO (PLN16-071). The proposal will permit a covered arena as a Public Use in the Agricultural/Ranching (AR) zone, in addition to the existing open arena and improvements at the Archuleta County Fairgrounds. At their meeting on July 27, 2016, the Planning Commission recommended approval (4-0) with conditions. On September 6, 2016, the Board of County Commissioners opened this item and continued it to October 4th, when it was further continued to November 15th.

Presenter                    John Shepard, AICP  
Presenter's Title        Planning Manager

Documents:

[PLN16-071\\_WHEC\\_EVENT\\_CENTER\\_BOCC-20161115\\_STAFFREPORT.PDF](#)  
[A1-PLN16-071\\_072\\_AREAMAPS.PDF](#)  
[A2-PLN16-071\\_072\\_REVIEWCOMMENTS.PDF](#)

[A3-PLN16-071\\_WHEC-NARRATIVE\\_AND\\_OPERATING\\_PROPOSAL.PDF](#)  
[A4-PLN16-071\\_072\\_WHEC\\_BUILDINGPLANS.PDF](#)  
[A5-PLN16-071\\_072\\_WHEC\\_SITEPLANS-20160719.PDF](#)  
[A6-PC\\_20160727-SIGNED\\_MINTUES.PDF](#)  
[A7-PLN16-071\\_SKETCH\\_MAP-20161103.PDF](#)  
[WHEC NEW BUILDING NEEDS.PDF](#)

**C. Aamodt/Bourland Request For Final Plat Approval Of Lake Pagosa Park Amendment 2016-01 To Re-Plat Lots 10 And 11, Block 17**

Paul and Barbara Aamodt, and Bonnie Bourland and Amanda Bourland, have applied for the proposed Lake Pagosa Park Amendment 2016 at 36 and 41 Tor Court, a Minor Lot Line Adjustment to re-plat Lots 10 and 11, Block 17, which goes directly to Final Plat review (PLN16-097). There are homes on both lots—this project is proposed so the driveway for Lot 11 would not encroach on Lot 10. At their meeting on 10/26/16, the Planning Commission recommended approval 4-0.

Presenter                      John Shepard, AICP  
Presenter's Title              Planning Manager

Documents:

[PLN16-097\\_LAKE\\_PAGOSA\\_PARK\\_MLLA-BOCC\\_20161115-STAFFREPORT.PDF](#)  
[A1-PLN16-097\\_AREAMAPS.PDF](#)  
[A2-PLN16-097\\_LPP\\_MLLA-NARRATIVE.PDF](#)  
[A3-PLN16-097\\_LAKE\\_PAGOSA\\_PARK\\_AMEND\\_2016-01\\_REV-20161027.PDF](#)

**CONSENT AGENDA**

**A. PAYROLL, PAYABLE WARRANTS AND PURCHASE CARDS**

**November 2, 2016 through November 15, 2016**

**B. Consideration Of Resolution 2016 - \_\_\_\_\_ Consolidating 2 Lots Into 1 Pagosa In The Pines Block 6 Owned By Roger L. Cooper And Siri K. Cooper**

This request is to consider the Resolution authorizing the consolidation of Lots 13 and 15X Pagosa in the Pines Block 6, to become Lot 15XX owned by Roger L. Cooper and Siri K. Cooper

Presenter                      Bentley Henderson  
Presenter's Title              County Administrator

Documents:

[LOT CONSOLIDATION RESOLUTION - COOPER.PDF](#)  
[COOPER O AND E.PDF](#)

**C. Airport Advisory Commission (AAC) Recommendation To Appoint John VanderHorck To The Board**

Recommendation from Airport Advisory Commission (AAC) to appoint John VanderHorck to a three year term on the AAC beginning January 1, 2017.

Presenter                      Kate Alfred  
Presenter's Title              Airport Manager

Documents:

[AAC BOARD MEMBER RECOMMENDATION.PDF](#)

**D. Approval Of The Airport Advisory Commission (AAC) Bylaws**

The AAC has completed their annual review of their Bylaws and presents them to the BoCC for approval.

Presenter Kate Alfred  
Presenter's Title Airport Manager

Documents:

[AAC BYLAWS.PDF](#)

**NEW BUSINESS**

**A. First Reading Of Ordinance No. 17-2016 Of The Board Of County Commissioners Adopting Vehicle Type And Speed Regulations For Cascade Avenue**

Presenter Todd Starr  
Presenter's Title County Attorney

Documents:

[ORDINANCE NO. 17-2016.PDF](#)

**B. Consideration Of Approval Of A Memorandum Of Agreement Between Southwest Colorado Council Of Governments And Archuleta County**

Memorandum Of Understanding between Southwest Colorado Council of Governments and Archuleta County regarding telecommunications infrastructure improvements with regards to the County's dark fiber.

Presenter Bentley Henderson  
Presenter's Title County Administrator

Documents:

[MOU FOR DARK FIBER LEASING AUGUST 17 2016 LEGAL REVIEWED FINAL.PDF](#)

**C. 2016 Amended Position Classification Pay Scale**

Provided for your consideration is an amended Position Classification Pay Scale for Archuleta County. This amended Pay Scale is intended to replace the Pay Scale adopted early in 2016.

Presenter Bentley Henderson  
Presenter's Title County Administrator

Documents:

[MEMORANDUM 2016 AMENDED POSITION CLASSIFICATION.PDF](#)  
[CLASSIFICATION PAY SCALE 2017.PDF](#)

## **PUBLIC COMMENTS FROM THE FLOOR**

This is an opportunity during the session for the public to address the Commissioners on a subject not covered on the agenda. Please step up to the podium, **STATE YOUR NAME AND ADDRESS FOR THE RECORD** and keep your comments to 3 minutes (**the Board is not required to discuss your comment or make a decision regarding your comment, under this section**).

## **MEDIA QUESTIONS**

## **COMMISSIONER COMMENTS**

## **EXECUTIVE SESSION**

Pursuant C.R.S. 24-6-402(4): The Board reserves the right to meet in executive session for any purposes allowed and announced prior to voting to enter into executive session.

## **ADJOURNMENT OF THE REGULAR BOCC MEETING**

All meetings to be held in the Archuleta County Administration Offices  
398 Lewis Street, unless otherwise stated.  
All Regular and Special BoCC Meetings are recorded.

**ARCHULETA COUNTY, COLORADO  
RESOLUTION 2016-16 BOA**

**A RESOLUTION OF THE BOARD OF ADJUSTMENT APPROVING VARIANCE  
FROM THE ARCHULETA COUNTY LAND USE REGULATIONS  
FOR PARCEL 3, RIDGEVIEW SUBDIVISION REPLAT**

**WHEREAS**, the Board of County Commissioners has adopted the *Archuleta County Land Use Regulations*, pursuant to C.R.S. §30-28-101, *et. seq.*, C.R.S. §24-64.1-101 *et. seq.*; C.R.S. §24-67-101 *et. seq.*; and C.R.S. §29-20-101 *et. seq.*; and

**WHEREAS**, Jeremiah “J” Webb, Holiday RV South, Inc. of South Fork, CO, applied for the Holiday RV South Variance from Section 5.4.5.4 of the *Archuleta County Land Use Regulations*, and Sections 27.1.7.3 and 27.1.7.4 of the *Archuleta County Road and Bridge Design Standards* requiring paving of access and parking (PLN16-055); and

**WHEREAS**, Bruce Lamereaux signed the Application as owner(s) of record of Parcel 3, Ridgeview Subdivision Replat, located at 633 Navajo Trail; and

**WHEREAS**, the property is zoned Planned Unit Development (PUD), and a concurrent application has been made for a Conditional Use Permit to permit Outdoor Sales of Recreational Vehicles in the PUD zone (PLN16-054); and

**WHEREAS**, the Board of County Commissioners sits as the Board of Adjustment, as provided by Section 1.2.4.2 of the *Archuleta County Land Use Regulations*; and

**WHEREAS**, the Board of Adjustment opened a public hearing on the request on September 20, 2016, which was continued to October 4, 2016, and further continued to November 1, 2016; and

**WHEREAS**, public notice of the hearing was given by publication in a newspaper of general circulation in the County, posted on site and mailed to adjacent property owners, at least twenty-one (21) days prior to the public hearing, as required by Section 2.2.3 of the *Archuleta County Land Use Regulations*; and

**WHEREAS**, at the public hearing testimony was taken from all persons appearing and wishing to give testimony; and

**WHEREAS**, the Board of Adjustment considered in full the requirements of Section 2.2.3 of the *Archuleta County Land Use Regulations* as to Standards for the Grant or Denial of Variances; and

**WHEREAS**, the Board of Adjustment voted 3-0 to approve the request.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF ARCHULETA COUNTY, COLORADO, AS FOLLOWS:**

**Section 1. Findings.**

The Board of Adjustment finds that:

- a. The application meets each of the standards for a grant of variance in Section 1.2.4.4(1) of the *Archuleta County Land Use Regulations*, and
- b. The application meets the standards for variance from design standards in Section 27.6 of the *Archuleta County Road and Bridge Design Standards and Construction Specifications*, and
- c. Variance is granted for the specific plans proposed by Applicant; and

**Section 2. Conditions.**

The Board of Adjustment approves the Webb Request for the Holiday RV South Variance from Sections 27.1.7.3 and 27.1.7.4 of the Archuleta County Road and Bridge Design Standards and Section 5.4.5.4 of the Archuleta County Land Use Regulations requiring paving of parking, on Parcel 3, Ridgeview Subdivision Replat at 633 Navajo Trail, Pagosa Springs, CO, with the following conditions:

1. Should Bastille Dr. be paved within five (5) years of this approval, the site must be brought into compliance with the access and parking standards then in effect within two (2) years of paving.
2. Variance approval is contingent on compliance with terms of Conditional Use Permit approval.

APPROVED AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2016, in Pagosa Springs, Archuleta County, Colorado.

BOARD OF ADJUSTMENT  
OF ARCHULETA COUNTY, COLORADO

\_\_\_\_\_  
Michael Whiting, Chairman

ATTEST:

\_\_\_\_\_  
June Madrid, Clerk and Recorder

*Return Copy to Planning*



Archuleta County  
Development Services—Planning Department  
1122 HWY 84  
P. O. Box 1507  
Pagosa Springs, Colorado 81147  
970-264-1390  
Fax 970-264-3338

## MEMORANDUM

TO: Archuleta County Board of Adjustment

FROM: John C. Shepard, AICP; Planning Manager

DATE: November 15, 2016

RE: Veterans Memorial Park Variances from Paving and Landscaping, Tract B-1, Pagosa Vista Exemption, on Vista Blvd (PLN16-092)

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### EXECUTIVE SUMMARY

Veterans Memorial Park of Archuleta County, represented by Harold George, has applied for the Veterans Memorial Park Variances from Paving and Landscaping, on property owned by Board of County Commissioners of Archuleta County, Tract B-1, Pagosa Vista Exemption, located on Vista Boulevard, Pagosa Springs, CO (PLN16-092). The request is for Variance from Sections 27.1.7.3 and 27.1.7.4 of the *Archuleta County Road and Bridge Design Standards* and Section 5.4.5.4 of the *Archuleta County Land Use Regulations* requiring paving of access and parking, and Section 5.4.1.6(5) Parking Area landscaping, in the Planned Unit Development (PUD) zone.

Veterans Memorial Park has made a concurrent application for a Land Use Permit to establish a 6.9 acre public park, which is an Administrative approval (PLN16-091).

### REVIEW PROCEDURE

The *Archuleta County Land Use Regulations* (Section 1.2.4) provide for variance from the strict application of the regulations. The Board of Adjustment (at this time the Board of County Commissioners sits as the BOA) may grant relief if strict application of the Regulations would result in peculiar and exceptional practical difficulties, or exceptional and undue hardship. The *Archuleta County Road and Bridge Design Standards and Construction Specifications* provides in Section 27.6 for variances from design standards, with similar criteria. Sec. 1.2.4.4 states that under no circumstances may a variance be granted on the sole basis of cost.

Variance is, essentially, a grant of authority for a property owner to use property in a manner forbidden by the regulations, and should be granted sparingly.

Public notice was published in the *Pagosa Springs Sun* prior to this hearing, posted on site, and mailed to adjacent property owners.

## DISCUSSION

Veterans Memorial Park of Archuleta County is a 501(c)(19) organization formed to design and complete the Veterans Memorial Park. The park is proposed on a 6.9 acre parcel of land, which the Pagosa Lakes Property Owners Association (PLPOA) deeded to Archuleta County by way of the Pagosa Vista Exemption plat approved by the Board of County Commissioners and recorded in October 2014. The property is subject to PLPOA covenants for open space. In August, Applicants submitted a Land Use Permit for administrative Site Plan review, to permit improvements including a parking lot, display pads, and drainage improvements. The site plan also indicates locations for a pavilion, restroom and maintenance building, and picnic shelters, but no specific plans were submitted, and no landscaping plan was provided. Future phases for these structures can be permitted through an administrative Site Plan amendment, but all Development Standards must be met for each phase.

The *Archuleta County Community Plan's* Future Land Use Map considers this area appropriate for High-density residential development. Chapter 8, Policy 5 encourages development of additional neighborhood and community parks in developed areas. A 7-acre area would normally serve a neighborhood park; however, this proposal is more typical of a larger community park likely to attract motorized traffic. There is evidence on-site of an historical railroad bed; however, the site is otherwise unimproved except for a sign and flagpole.

This area was zoned PUD (Planned Unit Development) in 2006, recognizing the covenant controls in the PLPOA area. The parcel was taken out of a larger open space tract owned by PLPOA, with Lake Vista to the west. An undeveloped 36-acre School District parcel, with no development designation, is located to the east across Vista Blvd. The two-lot McCabe Minor Subdivision was approved in 2015 on the property between PLPOA's Open Space and US Highway 160. An off-street trail was also recently completed on the east side of Vista Blvd. Vista Blvd. is classified as a Major Collector.

The narrative notes that "Phase One includes the minimal and essential work necessary to construct the parking area, perimeter sidewalks, a handicap accessible picnic pad." Applicants propose to leave the parking area as gravel for an undetermined time, without required parking lot landscaping. The proposed parking area has 18 regular parking spaces, four motorcycle spots, 4 ADA accessible parking spots, and 5 RV pull-through spaces. Parking is not permitted on County roads.

### **Parking Area Landscaping**

Landscaping is recommended in parking lots to provide shade and improve natural drainage. Section 5.4.1.6 of the *Archuleta County Land Use Regulations* provides that parking areas with more than ten (10) spaces shall landscape at least 10% of the parking lot, including tree islands with 1 tree per 5 parking spaces. Mike Davis, Davis Engineering, calculated 21,551 square feet in the parking lot and access, with a 4,008 s.f. landscaped island that meets that standard. A minimum of one tree (planted in tree islands) is required for each five (5) parking spaces; tree islands must be four feet by four feet, as long as a parking space. Therefore, 6 trees would be required, with the addition of two tree islands. Applicants chose not to include any landscaping plans in their design.

Chapter 2 of the *Archuleta County Community Plan* encourages native landscaping to enhance the appearance of the built environment. Chapter 4, Policy 5, states “New development is encouraged, and, in some cases, required to be designed so that it is visually compatible with community character and the natural environment.” Parking lot trees not only provide shade on hot days, but also capture rainwater and runoff when landscape islands are properly designed.

Few variance from parking lot landscaping have been considered. In August, the Board of Adjustment approved variance from parking lot landscaping (and other standards) for Western Heritage Events Center, an established facility. Variance was also approved for the Humane Society, off of Cloman Blvd in an industrial area; however, they have established landscaped areas closer to their building. This project is starting from scratch.

### **Paving**

Section 5.4.5.4 of the *Archuleta County Land Use Regulations* requires that all parking areas shall be paved. Section 27.1.7.3 and 27.1.7.4 of the *Archuleta County Road and Bridge Design Standards and Construction Specifications* provides design standards for driveways and parking areas. Section 27.1.7.4(C) specifically requires parking areas and drives for development (other than single family homes or duplexes) *must* be paved. Plans have been designed for paved parking, with provisions for gravel as an interim surface for an undetermined time.

Few variances have been approved for unpaved parking lots on paved roads. The Board of Adjustment approved variance from paving for Western Heritage Events Center—CDOT is proposed to close the access on paved US Hwy 84, with primary access on Mill Creek road which has not yet been paved. In April, the Board approved the Buckskin Towing Variance from paving on US Highway 160. The Holiday RV Variance from paving an RV storage parking area was approved at the Board’s last meeting.

In the vicinity, Port Ave. to the north is unpaved, while Park Ave. to the southeast is paved, as is Vista Blvd. itself. When McCabe Minor Subdivision was approved, the business at the corner of US Highway 160 and Vista Blvd was required to pave the portion of their access on county right-of-way, to prevent tracking onto the public road. It may be reasonable, in this case, to phase-in paving until larger improvements are completed, since traffic may be limited until that point.

Reviews for both the Site Plan review and Variance applications were combined. Consulting agency comments included:

- The Engineering Department has no objection to the variance from paving the driveways and parking lots because this is a natural park. After construction of the park and before the parking lots are open to the public, the Engineering Department will require a signed and sealed letter from the design engineer stating that drainage and detention pond were built according to approved plans (date June 30, 2016), and will work appropriately in accordance with County Standards. After construction proper drainage shall be provided by the applicant on all project road frontages.
- Pagosa Fire Protection District has no objection to granting the variances, but will require an approved address sign be posted according to the Fire Code.

- The Building Dept. noted all structures will require building permits, and must be designed and stamped/sealed by a Colorado Architect or Professional Engineer.
- PAWSD and LPEA had no objections to the Variance requests.
- In May, PLPOA Environmental Control Committee approved grading and construction of a gravel driveway to begin work on the park. Specific plans will have to be approved prior to construction.

The Board of Adjustment may grant a variance if all of the standards in Section 1.2.4.4 of the Land Use Regulations are found to exist:

- a. Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of these Regulations are strictly enforced.
- b. Circumstances creating the hardship were created subsequently through no fault of the appellant.
- c. That the property for which a variance is requested possesses exceptional narrowness, shallowness, shape or topography or other extraordinary and exceptional situation or condition which does not occur generally in other property in the same zoning or overlay district.
- d. That the variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood.
- e. The variance, if granted, will not be directly contrary to the intent and purpose of these Regulations or the Community Plan.

Applicants discuss justification of their requests in their narrative (See attached):

- The group is still raising funds for the parking lot.
- Drainage improvements will be installed at beginning of project.

All five standards in Section 1.2.4.4 must be met to approve relief from the zoning regulations. Considering each:

- a. Is this a “peculiar” hardship, unique to this property? The Land Use Regulations and Road & Bridge Standards do not specifically address public parks.
- b. Circumstances have not changed since Applicant acquired interest in the property.
- c. No aspect of the property is substantially different from other property in the same zoning district. Applicants offer no justification other than cost, which would more properly be addressed by amending the regulations.
- d. A gravel parking lot will result in mud tracking onto the paved road, and likely dust and sediment pollution. An un-landscaped park will be less attractive to neighbors and visitors.
- e. The Community Plan encourages quality design.

In summary, while it may be reasonable to temporarily permit the parking lot to stay as gravel until traffic increases, there is no justification presented to vary from the adopted *Archuleta County Land Use Regulations*.

## RECOMMENDATION AND FINDINGS

I. Considering the requests for Variance from required Parking Area **Landscaping**, Staff would suggest Applicants have NOT provided sufficient evidence for relief, and Staff recommends the Board of Adjustment find that:

- a. The application DOES NOT meet the standards for a grant of variance in Section 1.2.4.4(1) of the *Archuleta County Land Use Regulations*, and

That the Board of Adjustment DOES NOT approve the Veterans Memorial Park Variance from Parking Area Landscaping in Section 5.4.1.6 of the *Archuleta County Land Use Regulations*.

And that the Board of Adjustment instruct staff to draft a Resolution stating these Findings and Conditions of Approval for consideration at the earliest public meeting.

II. Considering the request for Variance from **Paving**, should the Board of Adjustment accept that Applicant has provided sufficient evidence for relief, staff recommends the Board of Adjustment find that:

- a. The application meets each of the standards for a grant of variance in Section 1.2.4.4(1) of the *Archuleta County Land Use Regulations*, and
- b. The application meets the standards for variance from design standards in Section 27.6 of the *Archuleta County Road and Bridge Design Standards and Construction Specifications*, and
- c. Variance is granted for the specific plans proposed by Applicant; and

That the Board of Adjustment approves the Veterans Memorial Park Variance from Paving in Sections 27.1.7.3 and 27.1.7.4 of the *Road and Bridge Design Standards*, Tract B-1, Pagosa Vista Exemption, with the following condition:

1. The parking lot shall be paved prior to application for a building permit for the proposed Pavilion.

And that the Board of Adjustment instruct staff to draft a Resolution stating these Findings and Conditions of Approval for consideration at the earliest public meeting.

## PROPOSED MOTION

- I. **I move to DENY the Veterans Memorial Park variance from LANDSCAPING requirements in the Land Use Regulations, , and instruct staff to draft a Resolution stating these Findings and Conditions of Approval.**
- II. **I move to APPROVE the Veterans Memorial Park variance from PAVING requirements in the Road and Bridge Design Standards, with Condition 1 of the staff report, and instruct staff to draft a Resolution stating these Findings and Conditions of Approval.**

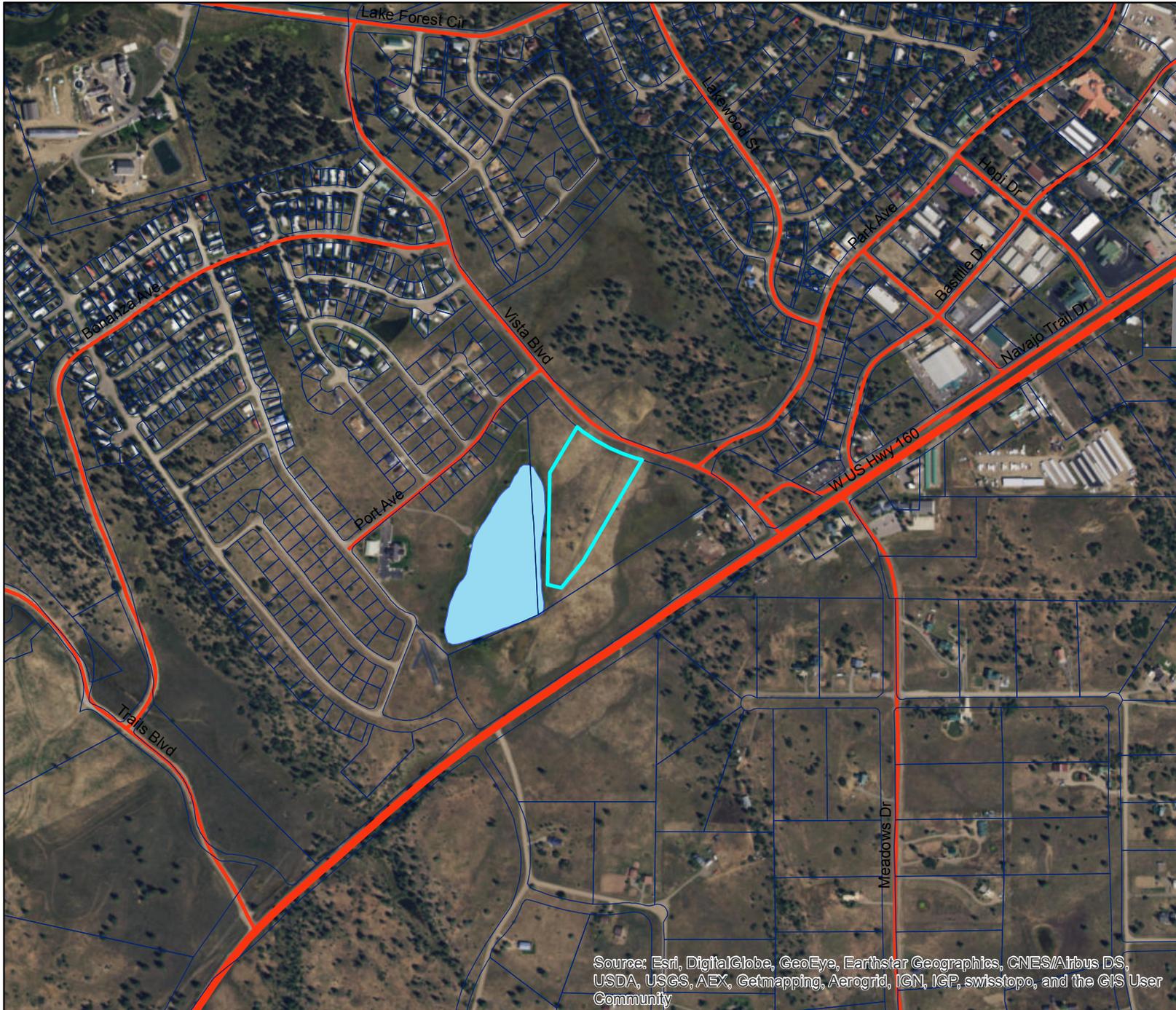
**ATTACHMENTS.**

Attachment 1: Area Maps

Attachment 2: Review Comments

Attachment 3: Applicant's Narrative

Attachment 4: Site Plan



# Site Map

Veterans Memorial  
Park Site Plan  
PLN16-091  
VAR PLN 16-092

### Legend

-  Highway
-  Primary Road
-  Lakes
-  Pagosa Springs
-  Parcels
-  Project Location

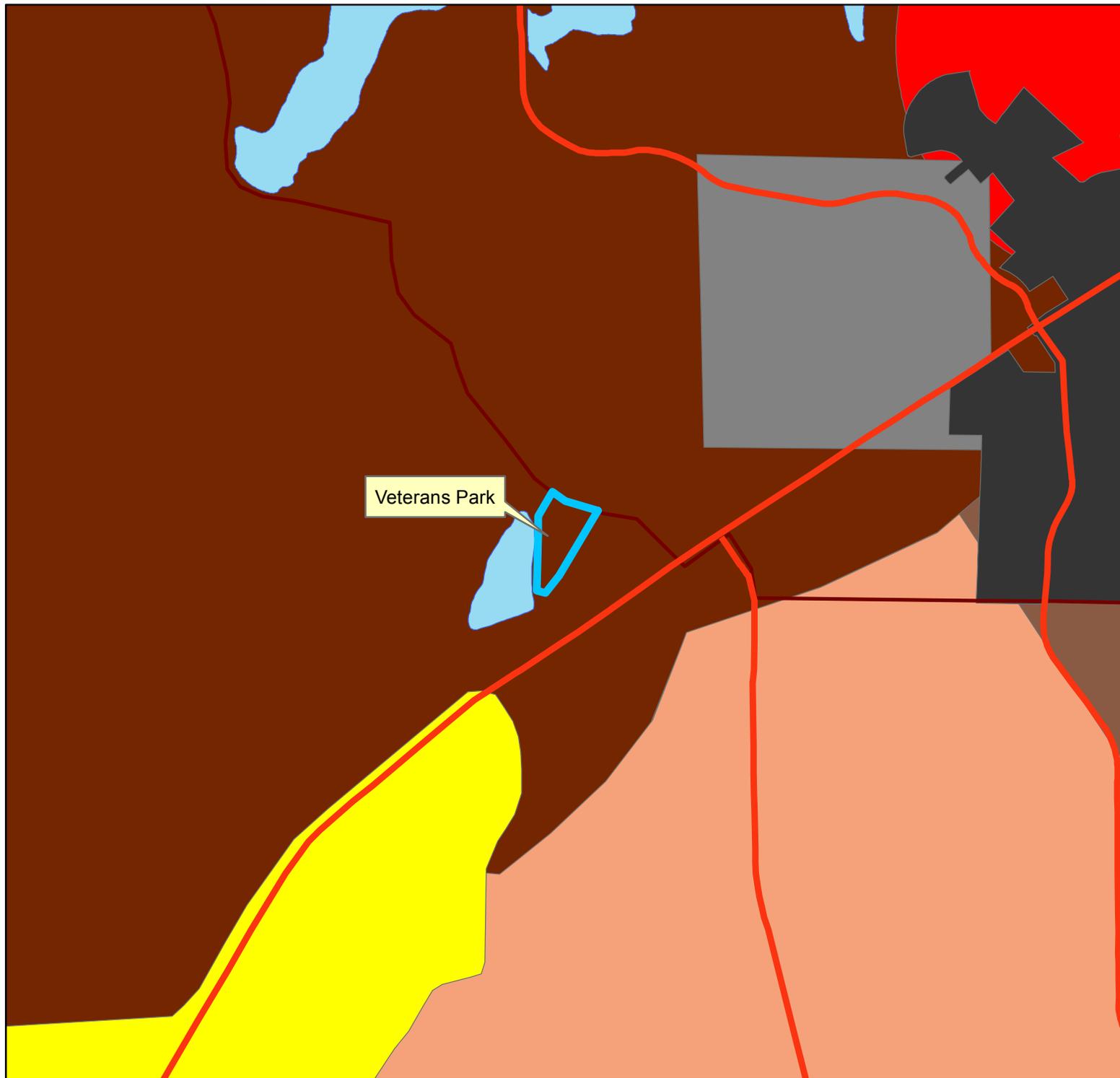


350 175 0 350 Feet



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

# Archuleta County Community Plan Detail: Future Land Use



## Legend

- Major Roads
- Rivers & Streams
- Lakes
- Critical Wildlife Habitat
- Migration Corridor
- Joint Planning Area
- Pagosa (2009)
- Tier 1
- Tier 2
- Industrial Park
- Commercial Area

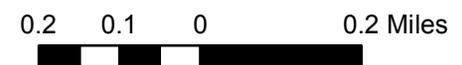
## Future Landuse

- High density residential
- Medium density residential
- Low density residential
- Very low density residential
- Public land
- Village Center



Detail of map developed 21 Sept 2011

Archuleta County Development Services  
31 August 2016





# Site Map

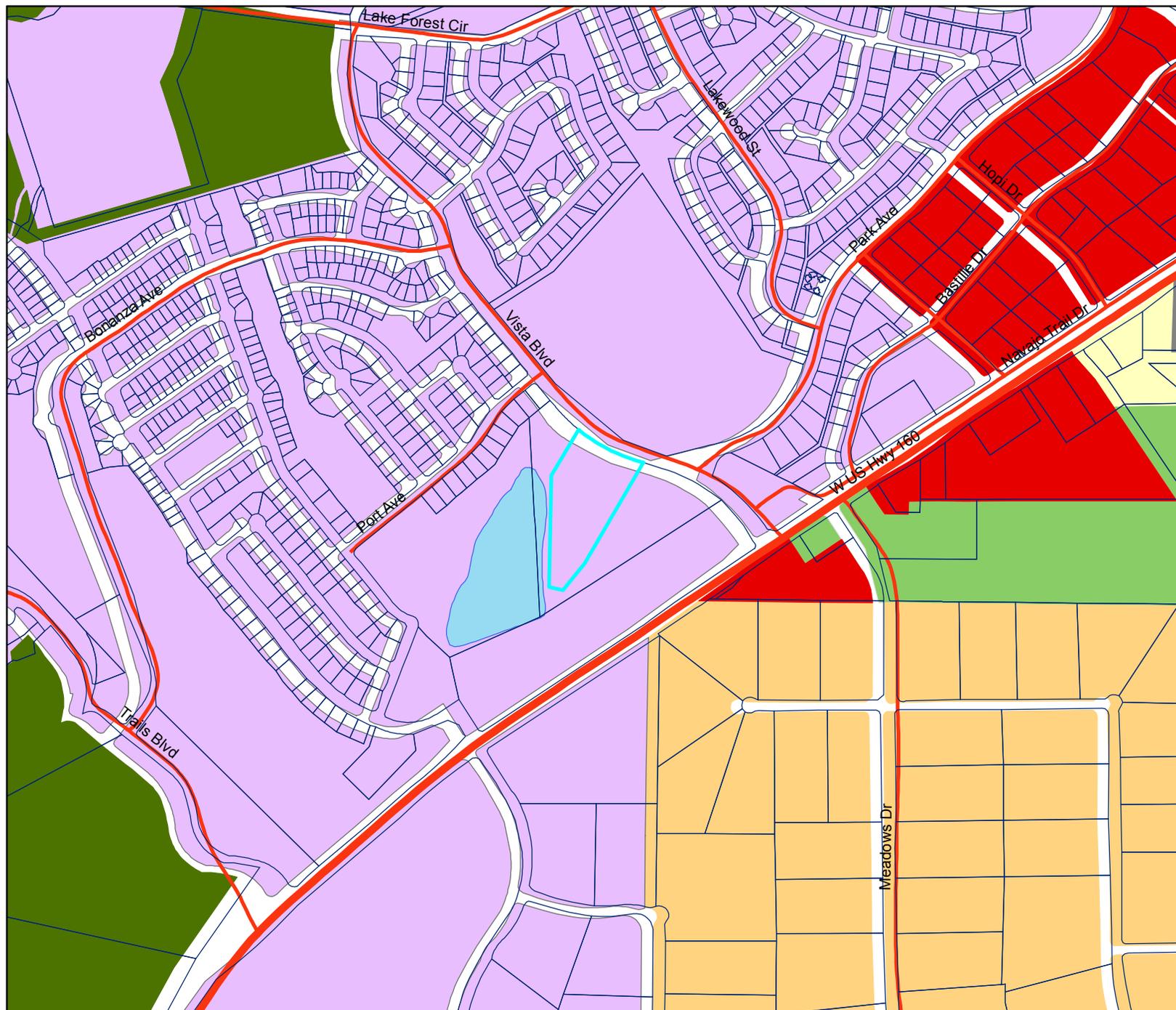
Veterans Memorial  
Park Site Plan  
PLN16-091  
VAR PLN 16-092

### Legend

- Highway
- Primary Road
- Lakes
- Pagosa Springs
- Parcels
- Zoning Map 2011**
- Zoning Districts**
- Agriculture Forestry (AF)
- Agriculture Ranching (AR)
- Agricultural Estate (AE)
- Rural Residential (RR)
- Residential (R)
- Mobile Home Park (MHP)
- Commercial (C)
- Industrial (I)
- PUD
- Project Location



350 175 0 350 Feet



This map has been produced using various geospatial data sources. The information displayed is intended for general planning purposes and the original data will routinely be updated. No warranty is made by Archuleta County as to the accuracy, reliability or completeness of this information. Consult actual legal documentation and/or the original data source for accurate descriptions of locations displayed herein.



# Site Map

Veterans Memorial  
Park Site Plan  
PLN16-091  
VAR PLN 16-092

### Legend

- Highway
- Primary Road
- Lakes
- Pagosa Springs
- Parcels
- Project Location



200 100 0 200 Feet



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



**MEMO**

Date: September 7, 2016

To: John Shepard

From: Yari Davis

Cc: Bob Perry

RE: Veterans Memorial Park

After reviewing the package submitted for this project we have the following comments and requests:

- The Engineering Department has no objection to the variance from paving the driveways and parking lots because this is a natural park.
- After construction of the park and before the parking lots are open to the public, the Engineering Department will require a signed and sealed letter from the design engineer stating that drainage and detention pond were built according to approved plans (date June 30, 2016), and will work appropriately in accordance with County Standards.
- After construction proper drainage shall be provided by the applicant on all project road frontages.



# Pagosa Fire Protection District

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Sept 12, 2016

Subject: Conditional Use Permit Amendment, Paving and Landscaping Variances  
Owner: Board of County Commissioners of Archuleta County  
Project: Veterans Memorial Park  
Address: Tract B-1 of the Pagosa Vista, Pagosa Springs Colorado

Attention: John C. Shepard, AICP

Dear Sirs;

I have reviewed the land use application provided for the proposed construction of the Veterans Memorial Park. The Fire Districts has no objections to this project, we would require that an approved address sign be provided, 2009 IFC Section 505. The District has no objection to granting the associated variances.

Thank You

*David Hartman*

David Hartman  
Fire Marshal



230 Port Ave., Pagosa Springs, CO 81147 Phone: 970-731-5635 Fax: 970-731-5362 Toll Free: 1-888-467-5762 e-mail [plpoa@plpoa.com](mailto:plpoa@plpoa.com)

July 21, 2016

John Ruyle  
Archuleta County Building Dept.  
1122, Hwy 84  
P.O. Box 1507  
Pagosa Springs, CO 81147

Dear Mr. Ruyle,

It is my understanding that you require notice of approval from the Pagosa Lakes Property Owners Association regarding the Veterans Memorial Park.

Please be advised that during the May 18, 2016 meeting of the Environmental Control Committee of the PLPOA, the Committee approved the plans to begin work on the park. The motion was carried unanimously to approve the grading and construction of the gravel driveway serving as an entrance into the park.

If you need any additional information, please let me know.

Thank you

Allen Roth, CMCA, AMS, PCAM  
General Manager  
Pagosa Lakes Property Owners Association



## **The Veterans Memorial Park of Archuleta County**

The mission of the VMPAC is to develop and maintain a Memorial Park in honor of all past, present and future Veterans of the Armed Forces of the United States of America; to be a place for Veterans, their families and the public to remember, reflect and contemplate the sacrifices of these individuals; and to serve as an educational venue. A nine-member board comprised of war veterans was formed in 2013 as a 501 (c) (19) tax exempt organization for the sole purpose of building this Memorial Park. The VMPAC Board is committed to developing design concepts as well as exploring and pursuing fundraising opportunities. Due to financial constraints, it is necessary that the project be pursued in increments or phases.

The project is located on a parcel of land known as Tract B-1 of the Pagosa Vista subdivision, in Section 19, Township 35 North, Range 2 West, New Mexico Principal Meridian, Archuleta County, Colorado. The nearly 6.9 acre parcel is located several hundred feet north of U.S. Highway 160, and is adjacent to and on the southwest side of Vista Boulevard. Lake Vista lies less than 100 feet to the west of the parcel on PLPOA property. The approximate coordinates of the site are Latitude 37.2492°N and Longitude 107.0930°W.

In October, 2014, the Pagosa Lakes Property Owners Association deeded a 6.9-acre parcel of land on Vista Boulevard to Archuleta County who in turn gave it to the Veterans Memorial Park Board to be developed as a Memorial Park and public recreation site. Once the park is completed, it will become County property and a public park, a true asset for a community lacking in public recreational areas and facilities. Currently in the design and development phase, the Board has produced a preliminary layout for the entire park with emphasis on the final design for the parking area. Davis Engineering, a local firm, has been engaged to assist with the design, oversight and construction of the park beginning with Phase One of the parking area. As simple as these plans are, the costs to build the parking area are exorbitant. Phase One includes the minimal and essential work necessary to construct the parking area, perimeter sidewalks and a handicap accessible picnic pad. It is hoped that this first phase of the work will physically and visually attract interest to the project as well as provide access to this beautiful area while the remaining part of the park

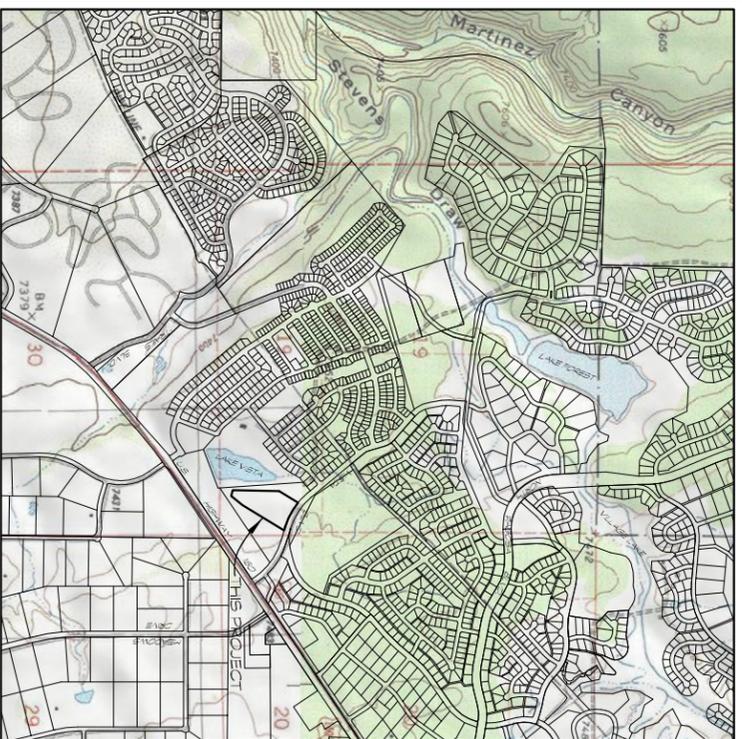
is being developed. The Board is working diligently to raise funds to break ground on this meaningful project.

The plan for the remaining part of this project, once the parking area is roughed in with a gravel surface, include a covered pavilion, a playground, a restroom and maintenance building, outdoor display areas, several sheltered picnic areas, a trail network connected to the existing Pagosa Lakes Property Owners Association (PLPOA) facilities and trails, and finishing the parking lot with an asphalt surface.

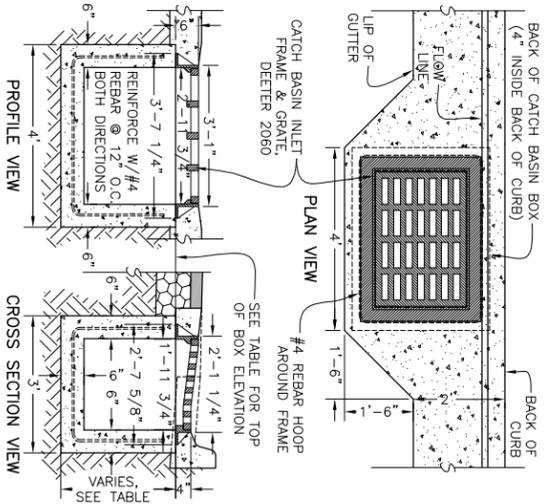
Drainage of the parking area will be a combination of surface and underground structures. Davis Engineering Service (DES) has included in Phase 1 a site plan depicting the potential overall site elements, with a detailed plan of the parking lot and surrounding curbs, gutters, sidewalks, and necessary drainage features. This site plan can be referenced and reviewed in the attached drainage study, with a half-size copy of the plan in Appendix A. The indicated plan will also serve as the construction drawing necessary for the placement of the site infrastructure, including that necessary to handle and mitigate peak runoff flow as required by Archuleta County construction standards.

The scope of the drainage study is to analyze both the pre-developed and developed site runoff from the 100-year 24-hour precipitation event for the drainage area associated with the proposed project improvements. The area reviewed is that within the property which will be modified, with most of this having the drainage controlled and collected for mitigation of the peak flow value. The parcel has been reviewed as four drainage basins (West, North, Middle, and East, see Figure 4 in the attached study) with the North and East Basin configurations not significantly modified and therefore not evaluated. The Middle Basin is where the bulk of the improvements will occur, and is the portion of the site where peak flow mitigation will be performed. The West Basin will be modified slightly, with no peak flow attenuation. As such, the increased flow developed from the West Basin is subtracted from the historical peak flow from the Middle Basin to conservatively limit the developed peak flow value. No consideration was made for improvements within the public right-of-way. It is recommended that significant improvements to the site be performed within the Middle Basin, as this is the area where peak flow mitigation is planned and can be reasonably accomplished. Should significant future development extend outside of the Middle Basin, the resulting drainage and necessary mitigation may have to be reviewed.

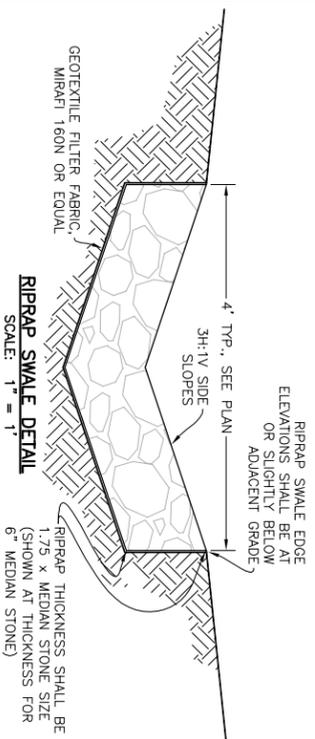
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LOCATION MAP  
SCALE: 1" = 1/4 MILE



CATCH BASIN (3'x4') DETAILS  
SCALE: 1/2" = 1'



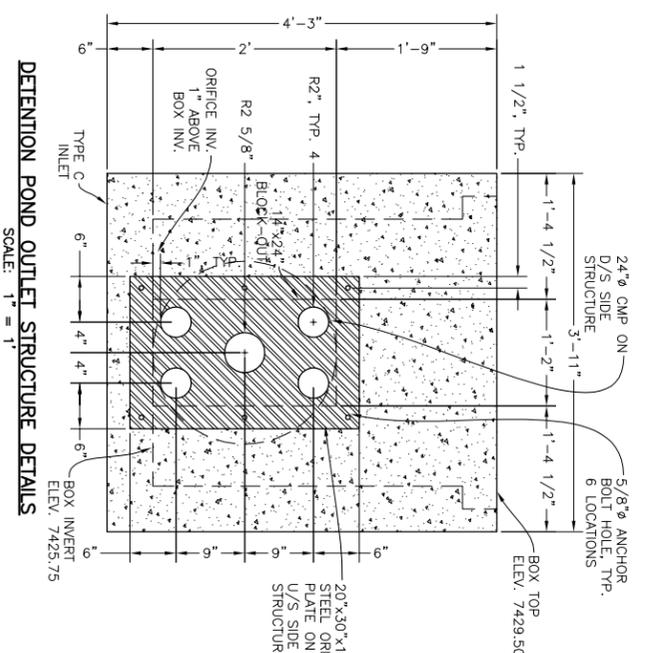
RIPPAP SWALE DETAIL  
SCALE: 1" = 1'

**GENERAL AND SITE NOTES**

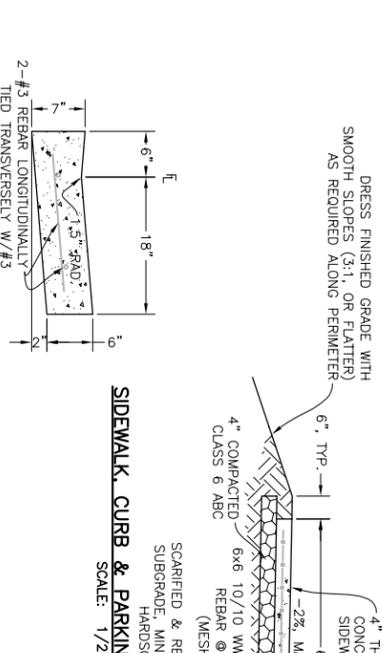
- NO EXCAVATION OR WORK SHALL BEGIN UNTIL THE CONTRACTOR HAS OBTAINED, AT HIS EXPENSE, ANY PERMITS REQUIRED TO PERFORM THE PROPOSED WORK.
- ALL SITE-WORK SHALL BE IN CONFORMANCE WITH ARCHULETA COUNTY STANDARDS AND PROJECT SPECIFICATIONS, WITH QUALITY ASSURANCE TESTING DOCUMENTATION REQUIRED FOR PUBLIC IMPROVEMENTS AND RECOMMENDED FOR PRIVATE IMPROVEMENTS FOR COMPACTION, AGGREGATES, ASPHALT, AND CONCRETE.
- THE ANTICIPATED DISTURBANCE AREA IS APPROXIMATELY 2 ACRES IN SIZE. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING A SPILL WATER DISCHARGE PERMIT FROM THE STATE OF COLORADO. THE CONTRACTOR SHALL MAINTAIN DRAINAGE DURING CONSTRUCTION. ACCORDANCE WITH THE SITE SPECIFIC SPILL WATER MANAGEMENT PLAN AND REMOVAL OF MATERIALS DUE TO LACK OF THIS MAINTENANCE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- COMPACTION AND MOISTURE CONTROL IN NATIVE AND AGGREGATE MATERIALS SHALL BE TO 96% OF MAXIMUM MODIFIED PROCTOR DENSITY AT 12% OPTIMUM MOISTURE, OR AS DIRECTED BY PROJECT SPECIFICATIONS.
- CLEARING AND GRUBBING SHALL INCLUDE REMOVAL OF ALL TREES, LOGS, LIMBS, STUMPS, BRUSH, TRASH, ETC. TO AN OFFSITE LOCATION. TREE REMOVAL SHALL INCLUDE THE ROOTS.
- THE EARTHWORK SUMMARY FOR THIS PROJECT INCLUDES 400 C.Y. OF TOPSOIL REMOVAL AND REPLACEMENT AND 2445 C.Y. OF EXCAVATION. THE COMPOSED 1% OF EMBANKMENT STRUTURAL SLOPES BEHIND PARKING AREAS SHALL BE PLACED AT 2.5:1 SLOPES, THEN SUPPLEMENTED TO 3:1 SLOPES AS NEEDED. REMOVED TOPSOIL MATERIAL. DETENTION POND BERM SHALL HAVE STRUCTURAL SLOPES AT THE INDICATED 3:1 SLOPES.
- THE MIX FOR ALL EXTERIOR CONCRETE SHALL BE PROPORTIONED TO OBTAIN 4000 PSI (MIN.) AFTER 28 DAYS, CONTAIN AIR ENTRAINMENT AT 641% BY VOLUME, SHALL CONTAIN FIBERESH, SHALL HAVE A SLUMP BETWEEN 2 AND 5 INCHES, AND SHALL BE GIVEN A LIGHT BROOM FINISH.
- WHERE NEW ASPHALT PAVEMENT IS TO ADJUT EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE EDGE OF THE EXISTING ASPHALT MAT TO PROVIDE A CLEAN JOINT BETWEEN EXISTING ROADWAY AND ASPHALT PATCHES OR TIE-INS. TACK COAT SHALL BE APPLIED TO ALL ADJACENT SURFACES WHERE A TIGHT JOINT IS DESIRED.
- ALL ASPHALT PROVIDED FOR THIS PROJECT SHALL BE A 75 GRATION LEVEL SUPER-PAVE MIX HAVE SIX GRADING AND PG 58-28 BINDER, WITH A MIX DESIGN THAT HAS BEEN APPROVED FOR MUNICIPAL PROJECTS WITHIN TWO YEARS. HOT MIX ASPHALT (HMA) SHALL BE COMPLETED TO 92% TO 96% MAXIMUM THEORETICAL DENSITY, AND SHALL HAVE PROPER GRADATION, OIL, AND VOIDS AS APPROPRIATE FOR THE MIX BEING USED.
- RIPPAP SHALL BE SOUND, ANGULAR (OR ROUND FOR DRY CREEK FEATURE) ROCK OF THE DIMENSIONS INDICATED.
- PROPER ARRANGEMENTS AND NOTIFICATIONS SHALL BE MADE PRIOR TO ANY BLASTING ACTIVITIES, AND WORK SHALL BE PERFORMED BY A COMPETENT AND EXPERIENCED BLASTER.
- SUBGRADE STABILIZATION, IF REQUIRED, TYPICALLY CONSISTS OF A COMBINATION OF MUCK EXCAVATION, CLASS 2, CLASS 6, OR CLEAN AGGREGATE BASE COURSE, AND GEOTEXTILE OR GEGRID REINFORCEMENT. THE NEED, METHOD, AND QUANTITY FOR SUBGRADE STABILIZATION WILL BE DETERMINED BY THE ENGINEER IN THE FIELD.
- SIX PARKING LOT LIGHTS HAVE BEEN SHOWN AT THIS TIME. LIGHTS SHALL BE FULLY DARK SKY COMPLIANT, BE HIGH EFFICIENCY, AND SUITABLE FOR THE INTENDED PURPOSE. LIGHT BASE DETAILS, SPECIFIC LOCATIONS, AND ELECTRICAL SUPPLY AND ROUTING WILL BE DETERMINED UPON FINAL DECISION REQUIREMENT FOR PROJECT INCORPORATION AND NECESSARY LIGHT FIXTURE SELECTION.
- THE PHYSICAL FEATURES WITHIN THE LIMITS OF THE PROJECT HAVE BEEN SHOWN BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FEATURES PRIOR TO BEGINNING ANY WORK.
- THE CONTRACTOR SHALL KEEP ALL OPERATIONS WITHIN THE PROJECT LIMITS AS ESTABLISHED BY THE OWNER. THE CONTRACTOR SHALL KEEP EQUIPMENT AND MATERIALS WITHIN THESE LIMITS AND CLEAR OF THE PUBLIC ROADWAYS. CONSTRUCTION ACTIVITIES, STAGING, PARKING, OR OFF-SITE DISPOSAL SHALL NOT ENCOACH UPON PRIVATE OR PUBLIC LANDS WITHOUT WRITTEN APPROVAL FROM THE PROPERTY OWNER OR LAND MANAGEMENT AGENCY.
- SHOULD ANY QUESTIONS ARISE OR ANY DISCREPANCIES BE NOTED IN THE PLANS, THE ENGINEER SHOULD BE CONSULTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEMS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTS FROM DAMAGE DURING CONSTRUCTION OPERATIONS. ANY MONUMENTS DISTURBED BY THE CONTRACTOR SHALL BE RESET AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR AND THE ENGINEER SHALL NOTE THESE MONUMENTS IN THE FIELD PRIOR TO CONSTRUCTION.
- ANY DAMAGE TO PUBLIC ROADWAYS SHALL BE REPAIRED IMMEDIATELY AND PRIOR TO CONTINUING OPERATIONS. DUST SHALL BE PROPERLY CONTROLLED AND ANY MUD OR OTHER MATERIAL TRACKED OR OTHERWISE DEPOSITED ON THE ROADWAY SHALL BE REMOVED DAILY OR AS ORDERED BY THE ENGINEER.
- ANY EXISTING FACILITIES, INCLUDING BUT NOT LIMITED TO PAVEMENT, CURB AND GUTTER, OR SIDEWALK MATERIAL THAT IS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION, AND IS NOT DESIGNATED FOR REMOVAL, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGGERS, OR OTHER DEVICES NECESSARY TO MAINTAIN A SAFE SITE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES AND STANDARDS. TRAFFIC SIGNS MAY BE REMOVED FOR THE CONVENIENCE OF THE CONTRACTOR, BUT AT NO TIME SHALL AN INTERSECTION BE LEFT IN AN UNSAFE CONFIGURATION. TEMPORARY STOP SIGNS, ETC. SHALL BE INSTALLED BY THE CONTRACTOR WHEN SUCH SIGNS ARE TO BE REMOVED FOR ANY EXTENDED PERIOD OF TIME. ANY EXISTING SIGNS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- PAVEMENT MARKING AND SIGNS SHALL BE CONSTRUCTED WITH APPROPRIATE AND DURABLE MATERIALS IN CONFORMANCE WITH THE MUTCD (CURRENT EDITION).
- ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH NATIVE GRASS OR AS INDICATED IN THE PROJECT SPECIFICATIONS.
- ADD 7400 FEET TO PLAN SPOT ELEVATIONS TO MATCH SURVEY ELEVATION DATUM.

**UTILITY GENERAL NOTES**

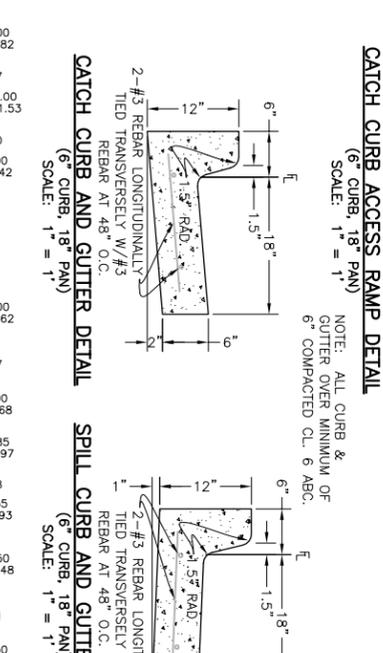
- NO UTILITY LOCATES WERE PERFORMED FOR THE DESIGN, AND NO UTILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS OF EXISTING STRUCTURES AND UTILITIES. EVERY REASONABLE MEANS SHALL BE USED, INCLUDING FIELD LOCATION OF THE UTILITY USING WHATEVER PROSPECTING MEANS ARE NECESSARY. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK, AND SHALL HOLD THE OWNER AND THEIR CONSULTANTS HARMLESS FOR ANY AND ALL DAMAGES TO UTILITIES ARISING FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITIES AT LEAST TWO (2) BUSINESS DAYS, NOT INCLUDING THE ACTUAL DAY OF NOTICE, PRIOR TO COMMENCING SUCH OPERATIONS. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 811 OR 1-800-922-1987, TO HAVE LOCATIONS OF UNCC REGISTERED LINES MARKED BY MEMBER COMPANIES. ALL OTHER UNDERGROUND FACILITIES SHALL BE LOCATED BY CONTACTING THE RESPECTIVE OWNER. UTILITY SERVICE LATERALS SHALL ALSO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING.
- THE CONTRACTOR SHALL VERIFY AND DOCUMENT THE CONDITION OF EXISTING UTILITIES (VISIBLE FACILITIES) WITH REPRESENTATIVES FROM THE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL FULLY COORDINATE UTILITY WORK WITH THE AFFECTED UTILITY PROVIDER AS APPROPRIATE.



DETENTION POND OUTLET STRUCTURE DETAILS  
SCALE: 1" = 1'



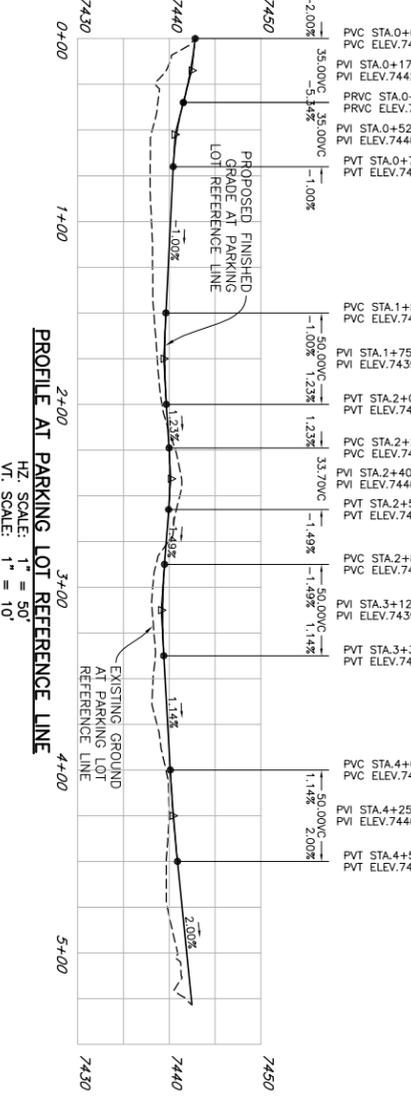
SIDEWALK CURB & PARKING LOT TYPICAL DETAIL  
SCALE: 1/2" = 1'



CATCH CURB ACCESS RAMP DETAIL  
SCALE: 1" = 1'

SPILL CURB AND GUTTER DETAIL  
SCALE: 1" = 1'

- OUTLET STRUCTURE NOTES:**
- CONCRETE OUTLET STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH COTI STANDARD M-604-10, LATEST EDITION, WITH A CLOSE MESH GRADE. IT SHALL BE CONSTRUCTED TO THE DIMENSIONS INDICATED AND INCORPORATE A BLOCK-OUT UPSTREAM SIDE WHICH WILL BE COVERED BY THE ORIFICE PLATE.
  - THE STEEL ORIFICE PLATE SHALL BE PROTECTED FROM CORROSION BY POWDER COATING OR PAINTING WITH MARINE GRADE PAINT, SUCH AS 15 MILS (MIN.) OF HYCOLE 151, OR SIMILAR.
  - THE STEEL ORIFICE PLATE SHALL BE ATTACHED TO THE CONCRETE BOX WITH 1/2", 4" LONG, GALVANIZED ANCHOR BOLTS (SIX MIN.), EITHER MECHANICALLY OR EPOXY SECURED.
  - A GASKET, O-RING, OR BEAD OF APPROPRIATE WATER-TIGHT SEALANT SHALL BE PLACED BETWEEN THE STEEL ORIFICE PLATE AND THE CONCRETE BOX.



PROFILE AT PARKING LOT REFERENCE LINE  
H.Z. SCALE: 1" = 30'  
V.I. SCALE: 1" = 10'

Veterans Memorial Park of Archuleta County		P.O. Box 2642 Pagosa Springs, CO 81147		Veterans Memorial Park		Location Map, Notes, Construction Details	
DATE	09/30/16	DESIGNED BY	MMD	CHECKED BY	MMD	DATE	07/04/16
APPROVED BY		DATE		DATE		DATE	

HALF-SIZE DRAWING

Sheet 1 of 3

DAVIS ENGINEERING SERVICE, INC.  
188 S. 8th STREET - P.O. BOX 1208  
PAGOSA SPRINGS, COLORADO 81147  
PHONE: (970) 264-5065  
FAX: (970) 264-9210

ELEVATION BASE ASSUMED



Veterans Memorial Park of Archuleta County  
 P.O. Box 2642  
 Pagosa Springs, CO 81147  
**Veterans Memorial Park**  
 Project Overview

**HALF-SIZE DRAWING**

NO.	DATE	BY	REVISION
01	09/30/16	MMD	MMD

THIS DRAWING IS THE PROPERTY OF DAVIS ENGINEERING SERVICE, INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN APPROVAL OF DAVIS ENGINEERING SERVICE, INC.

**DES** SINCE 1948  
**DAVIS ENGINEERING SERVICE, INC.**  
 188 S. 8th STREET - P.O. BOX 1208  
 PAGOOSA SPRINGS, COLORADO 81147  
 PHONE: (970) 264-5955  
 FAX: (970) 264-9210

1" = 40'  
 07/04/16

ELEVATION BASE ASSUMED

**CUT AND FILL SHADING**  
 SHOWN TO FINISHED GRADE  
 (RED IS CUT, BLUE IS FILL)

7'0"  
 3'5"  
 0'0"  
 -3'5"  
 -7'0"



**BOARD OF COUNTY COMMISSIONERS  
ARCHULETA COUNTY, COLORADO  
RESOLUTION 2016-\_\_\_\_**

**A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS APPROVING  
THE HOLIDAY RV SOUTH CONDITIONAL USE PERMIT  
FOR PARCEL 3, RIDGEVIEW SUBDIVISION REPLAT**

**WHEREAS**, the Board of County Commissioners has adopted the *Archuleta County Land Use Regulations*, pursuant to C.R.S. §30-28-101, *et. seq.*, C.R.S. §24-64.1-101 *et. seq.*; C.R.S. §24-67-101 *et. seq.*; and C.R.S. §29-20-101 *et. seq.*; and

**WHEREAS**, Jeremiah “J” Webb, Holiday RV South, Inc. of South Fork, CO, applied for a Conditional Use Permit to permit Outdoor Sales of Recreational Vehicles in the PUD zone (PLN16-054); and

**WHEREAS**, Bruce Lamereaux signed the Application as owner(s) of record of Parcel 3, Ridgeview Subdivision Replat, located at 633 Navajo Trail; and

**WHEREAS**, the property is zoned Planned Unit Development (PUD), and a concurrent application has been made for a Variance from requirements for paving of access and parking in the PUD zone (PLN16-055); and

**WHEREAS**, the Planning Commission held a public hearing on the request on July 27, 2016, recommending approval (3-1) with conditions; and

**WHEREAS**, the Board of County Commissioners opened a public hearing on the request on September 20, 2016, which was continued to October 4, 2016, and further continued to November 1, 2016; and

**WHEREAS**, public notice of the hearing was given by publication in a newspaper of general circulation in the County, posted on site and mailed to adjacent property owners, at least twenty-one (21) days prior to the public hearing, as required by Section 2.2.3 of the *Archuleta County Land Use Regulations*; and

**WHEREAS**, at the public hearing testimony was taken from all persons appearing and wishing to give testimony; and

**WHEREAS**, the Board of County Commissioners has taken into consideration the recommendations of the Archuleta County Planning Commission and public testimony, and the requirements of Section 3.2.3 of the *Archuleta County Land Use Regulations* for a Conditional Use Permit; and

**WHEREAS**, the Board of County Commissioners voted 3-0 to approve the request.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF ARCHULETA COUNTY, COLORADO, AS FOLLOWS:**

**Section 1. Findings.**

The Board of County Commissioners find that:

- a. The application meets the review criteria for a Conditional Use Permit in Section 3.2.3.4 of the *Archuleta County Land Use Regulations*, and
- b. The application meets the required findings for a Conditional Use Permit in Section 3.2.3.5 of the *Archuleta County Land Use Regulations*, and

**Section 2. Conditions.**

The Board approves the Webb Request for the Holiday RV South CUP, Parcel 3, Ridgeview Subdivision Replat at 633 Navajo Trail, with the following conditions:

1. Applicant shall submit a detailed site development plan meeting the requirements of Section 3.2.3.2(3) of the *Archuleta County Land Use Regulations*, for approval by the Development Services Department, within 30 days.
2. Applicant shall submit a drainage study, signed and sealed by a professional engineer, meeting the requirements of Section 5.3.4 of the Land Use Regulations, within 30 days.
3. Applicant shall submit parking area construction plans signed and sealed by a professional engineer, as required by Section 5.4.5 of the Land Use Regulations and Section 27.1.7.4 Design Standards for Parking Areas in the *Archuleta County Road and Bridge Design Standards*, within 90 days.
4. Recreational Vehicles shall not be parked in required setbacks shown on the Bechtolt Engineering Improvement Location Certificate, in the Vision Clearance Areas required by Section 5.4.7 of the Land Use Regulations, or Sight Triangle required by Section 27.1.6.3 of the Road & Bridge Design Standards.
5. Recreational Vehicles shall only be parked with adequate spacing between units (minimum 8'), as required by the Pagosa Fire Protection District.
6. Applicant shall reimburse Archuleta County for necessary public notice, within 30 days.

APPROVED AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2016, in Pagosa Springs, Archuleta County, Colorado.

BOARD OF COUNTY COMMISSIONERS  
OF ARCHULETA COUNTY, COLORADO

\_\_\_\_\_  
Michael Whiting, Chairman

ATTEST:

---

June Madrid, Clerk and Recorder

*Return Copy to Planning*



Archuleta County  
Development Services—Planning Department  
1122 HWY 84  
P. O. Box 1507  
Pagosa Springs, Colorado 81147  
970-264-1390  
Fax 970-264-3338

## MEMORANDUM

TO: Archuleta County Board of County Commissioners

FROM: John C. Shepard, AICP; Planning Manager

DATE: October 4, 2016; Updated for November 15, 2016

RE: WHEC Event Center CUP, on Lot 2M, Fairgrounds Minor Impact Subdivision, at 344 US Hwy 84, (PLN16-071).

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### EXECUTIVE SUMMARY

Western Heritage Event Center, Inc., represented by Jess Ketchum, has applied for the WHEC Agricultural Education and Equestrian Event Center Conditional Use Permit (CUP), on Lot 2M, Fairgrounds Minor Impact Subdivision, at 344A US Hwy 84 (corner of County Road 302), Pagosa Springs, CO (PLN16-071). The proposal will permit a covered arena as a Public Use in the Agricultural/Ranching (AR) zone, in addition to the existing open arena and improvements at the Archuleta County Fairgrounds.

Applicant's concurrent requests for Variances from Development Standards were approved by the Board of Adjustment previously (PLN16-072). At their meeting on July 27, 2016, the Planning Commission recommended approval (4-0) with conditions. On September 6, 2016, the Board of County Commissioners opened this item and continued it to October 4<sup>th</sup>. At that meeting the item was further continued to November 15<sup>th</sup>.

### REVIEW PROCEDURE

*Archuleta County Land Use Regulations* Section 3.2.3 Conditional Use Permit (CUP) provides for Conditional Uses, which require review and evaluation with respect to their effects on surrounding properties and Archuleta County at large. The Planning Commission recommended conditions to the Board of County Commissioners, according to the Review Criteria in Section 3.2.3.4.

Public notice was provided to the applicant for publication in the *Pagosa Springs Sun*, to be posted on site, and to mail to adjacent property owners as required.

### DISCUSSION

Pagosa Springs Enterprises was established in 1949 and was the original governing body of the Western Heritage Event Center (WHEC), established when non-profit status was attained in the

1990s. WHEC hosts two large-scale events each year, the 3-day Red Ryder Roundup Rodeo over Independence Day weekend, and the Archuleta County Fair, in cooperation with Archuleta County which owns Lot 1 of the Fairgrounds Minor Impact Subdivision and the Extension offices there. WHEC is proposing to construct a 164'x250' covered arena on their 30 acre tract, located south of the existing 210'x330' outdoor pipe arena. No additional seating is proposed at this time and no new traffic is expected to be generated. Existing gravel access will be improved to County standards. Pagosa Area Water and Sewer District (PAWSD) is also planning a new public water fill station in the utility easement on Lot 1 near the joint access along the County Road.

The *Archuleta County Community Plan* of 2001 provides guidance for future development. The Future Land Use Map shows this area as future Commercial transitioning to Very Low Density Residential along US Highway 84. The *Joint Town County Planning Commission Zoning Discussion 2010* map recognizes this parcel as suitable for Industrial development. The subdivision is zoned Agricultural/Ranching (AR), as is the Colorado DNR's Skyrocket Park property to the south and private property to the east. The subdivision to the west across Highway 84 is zoned Commercial (C). Property to the north across County Road 302 (Mill Creek Road) has been annexed by the Town of Pagosa Springs, in anticipation of mixed-use development and is proposing to annex the road and have it paved within the next year or so. The developers of the Mountain Crossing development would also be required to make improvements to the intersection of Highway 84 and Mill Creek Road, when specific development is proposed.

The Fairgrounds Minor Impact Subdivision was approved in 2001. In 2005, a minor lot line adjustment was approved to convey a new 6,000 square foot block building, with indoor bathrooms, from WHEC to the County for joint use. The *Archuleta County Land Use Regulations* do not currently provide for a private events center, so the existing WHEC property would be considered a non-conforming use that cannot be changed. However, a Public Use owned by a public agency is considered a Conditional Use in any zone. In this case, WHEC proposes to convey ownership of the structure to Archuleta County when completed, with continued joint use of the two properties at the Fairgrounds. Formal joint agreements will be necessary for cross-access and parking, as well as operations and maintenance, with approval of an Amended Plat.

**Update:** Staff suggested concurrent review of a Sketch Plan of an Amended Plat, to identify any concerns. Applicants submitted a conceptual sketch of a Minor Lot Line Adjustment with a new boundary line along the north side of the Event Center, then back along the south side of the access easement and drainage detention pond (Attachment 7).

The Events Center is proposed to be a public use facility, to be used for Equine events, rodeo, 4-H events, and Education & Training events. The facility would also be used for the primary annual events—the Red Ryder Rodeo and Archuleta County Fair—but would (according to Applicants) simply bring existing use under cover rather than adding additional traffic. Any events at the facility would have to meet the performance standards in Section 5.4.2 of the Land Use Regulations, limiting sound levels, vibration, smoke, and emissions, as well as requiring screening of any outdoor storage. Existing parking lot lighting will need to be replaced to meet the “dark skies” requirements for shielded lighting (Sec. 5.4.4). Parking for the Red Ryder Rodeo is limited by available seating; no parking plan was provided, and parking on-site is haphazard

(without markers or flaggers) which increases chances for crashes and does not provide clear emergency (fire/ambulance) access. Access and parking is restricted during the County Fair. A turnaround may be necessary at the facility to meet County Road & Bridge standards.

There is also an RV hook-up located on site for a seasonal caretaker. Although residential occupancy is typically limited to 30 days for a Lodging Use by the *Archuleta County Land Use Regulations* and adopted Building Code, the Land Use Regulations do provide for occupancy of an RV for up to 120 days a year with a Temporary Use Permit to assure public health and safety. (See Section 5.5.8 of the Land Use Regulations.)

No public comments have been received. This application and the concurrent Variances were referred to local utilities and regulatory agencies for review, as provided in Section 2.2.5.

Comments received include:

- County Engineering expressed concern that there is not enough improved gravel parking for horse trailers and vehicles using this arena.
- County Engineering accepted the Drainage Study provided by Davis Engineering, and requested the design engineer sign and seal approval that improvements are built according to plans.
- Pagosa Fire Protection District noted that the gravel access road does not meet the fire code requirement that access extends to within 150 feet of all portions of the facility. The District may be willing to grant an exception to increase the distance to 160 feet, if access can be provided to both north corners of the proposed building. The Fire District would require detailed building plans for review prior to issuing a building permit.
- Town of Pagosa Springs Planning Director commented that the Town is pursuing annexation of Mill Creek Road in conjunction with the Mountain Crossing development which will pave the road back to the asphalt plant; there should be consideration of constructing pedestrian facilities (sidewalk or trails) along the road; dust control may be necessary; and parking lot lighting should be shielded (dark skies requirements).
- CDOT review indicated the existing access on Mill Creek Road should provide adequate access; however:
  1. The westernmost access onto Mill Creek Road (on County property) is too close to Highway 84.
  2. Existing uses likely warrant improvements at Highway 84 and Mill Creek Rd.
  3. The existing access onto Highway 84 is too close to Mill Creek Rd and will need to be closed.
  4. A traffic impact study may be required.

An events center would typically have limits on operations to assure compatibility with near-by residences; however, the facility will be ultimately operated by Archuleta County. After initial review, WHEC met with County staff to draft an initial proposed joint Operations Plan (Attachment 3). Management aspects will need to be worked out in a Development Agreement or similar document. For example, the proposal to use port-a-potties instead of the existing restrooms would not be permitted by the Land Use Regulations, since the project is located within a public sewer district.

Addition of a gravel parking area on the east side of the arena, similar to the west side, would address concerns of both the Fire District and County Engineering, and provide a turnaround

during the Fair. A phasing plan may be necessary to address improvements to the intersection of Highway 84 and County Road 302, with participation by the County and Town. It may be worth proposing to CDOT that the main entrance become right-in/right-out, at least as an interim measure until further improvements are made to the intersection. CDOT approval will be necessary prior to issuance of a County Building Permit.

The review criteria for a Conditional use Permit in Section 3.2.3.4 of the *Archuleta County Land Use Regulations* include:

- (1)** The relationship and impact of the use on the development objectives of Archuleta County.
- (2)** The effect of the use on light and air, distribution of population, transportation facilities, utilities, schools, parks and recreation facilities, and other public facilities.
- (3)** The effect of the use upon traffic, with particular reference to congestion, vehicular and pedestrian circulation, safety and convenience, traffic flow and control, access, maneuverability, and removal of snow from the roads, sidewalks and parking areas.
- (4)** The effect of the use upon the character of the area in which the proposed use is to be located, including the scale and bulk of the proposed use in relation to surrounding uses.
- (5)** The adequacy of the design features of the site to accommodate the proposed use, including but not limited to accessibility, service areas, parking, loading, landscaping and buffering, lighting, etc.
- (6)** The effect of the use upon the natural resources and wildlife habitat areas.
- (7)** Such other factors and criteria as the Planning Commission and the Board of County Commissioners deems applicable to the proposed use.

Finally, before acting on the application, the Board must make the findings under Section 3.2.3.5:

- (1)** That the proposed location of the use, the proposed access to the site, and the conditions under which the use would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
- (2)** That, if required by the proposed use, there are adequate and available utilities and public services to service the proposed use, without reduction in the adequacy of services to other existing uses. These utilities and public services may include, but are not necessarily limited to, sewage and waste disposal, water, electricity, law enforcement, and fire protection.
- (3)** That the proposed use will be compatible with adjacent uses, including but not limited to site design and operating factors, such as the control of any adverse impacts including noise, dust, odor, vibration, exterior lighting, traffic generation, hours of operation, public safety, etc.

Applicants discuss justification of their request in their narrative (See attached). Construction is proposed to be funded mainly by private donors. The project is intended for the public good, to provide a safe, secure and weather-proof facility that can be utilized year-round. Also, the new building will present a better, more functional facility for the County Fair and Red Ryder Roundup Rodeo.

The Archuleta County Planning Commission held a Public Hearing on Wed. July 27, 2016, (Minutes attached). Applicant's engineer, a WHEC board member, and two others spoke in favor of the proposal. The Planning Commission discussed adequacy of existing parking and review comments from County Engineering and Pagosa Fire Protection District; CDOT requirements for Highway 84; long-term facility management, and provisions for the caretaker RV. The Planning Commission then unanimously recommended approval (4-0) with conditions.

The Archuleta County Board of Adjustment held a Public Hearing on Tuesday, August 16, 2016. The Board discussed concerns about joint operations as a Public Use and options for property ownership, annexation and paving of Mill Creek Road and disposition of joint access, and the unique nature of the County Fairgrounds. The Board of Adjustment then approved four requests for Variance from Development Standards for paving, parking lot landscaping, a landscape buffer along Highway 84, and setbacks from property lines.

## RECOMMENDATION AND FINDINGS

If the Board concludes that, based on evidence provided the Applicants have met the goals and objectives of the Land Use Regulations, then **staff would recommend the Board of County Commissioners find that:**

- a. The application meets the review criteria for a Conditional Use Permit in Section 3.2.3.4 of the *Archuleta County Land Use Regulations*, and
- b. The application meets the required findings for a Conditional Use Permit in Section 3.2.3.5 of the *Archuleta County Land Use Regulations*, and

**That the Board approves the request by Western Heritage Events Center, Inc, for the WHEC Agricultural Education and Equestrian Event Center Conditional Use Permit (CUP), on Lot 2M, Fairgrounds Minor Impact Subdivision, with the following conditions as recommended by the Planning Commission:**

1. Approval is contingent on the Board of County Commissioners' acceptance of proposed improvements; approval shall run with the proposed Events Center facility.
2. Uses will be limited to those described in the application and those approved by the Archuleta County Administrator.
3. All events shall be conducted in compliance with the Performance Standards in Section 5.4.2 of the *Archuleta County Land Use Regulations*, including (but not limited to) volume of sound, vibration, and emissions.
4. All outdoor lighting shall be installed in compliance with Section 5.4.4 of the *Archuleta County Land Use Regulations*.
5. A seasonal caretaker may occupy an RV on-site for up to 120 days per year.
6. A fire lane shall be provided on the east side of the arena.
7. Applicants shall apply for a Development Agreement for review by the County Attorney and approval by the Board of County Commissioners, providing for cross-access and parking, and continued joint use, operations and maintenance.
8. Addresses for structures on this parcel shall be updated according to County policy.
9. Applicant shall submit a complete Building Permit application within one year of final approval, as required by Sec. 3.2.3.6 of the *Archuleta County Land Use Regulations*.

**And that the Board instruct staff to draft a Resolution memorializing these Findings and Conditions of Approval at the earliest public meeting.**

PROPOSED MOTION

**I move to approve the Western Heritage Events Center, Inc, request for the WHEC Agricultural Education and Equestrian Event Center Conditional Use Permit (CUP) with Findings A and B, and conditions 1-9 of the Staff Report, and instruct staff to draft a Resolution stating Findings and Conditions of Approval.**

ATTACHMENTS.

Attachment 1: Area Maps

Attachment 2: Review Comments

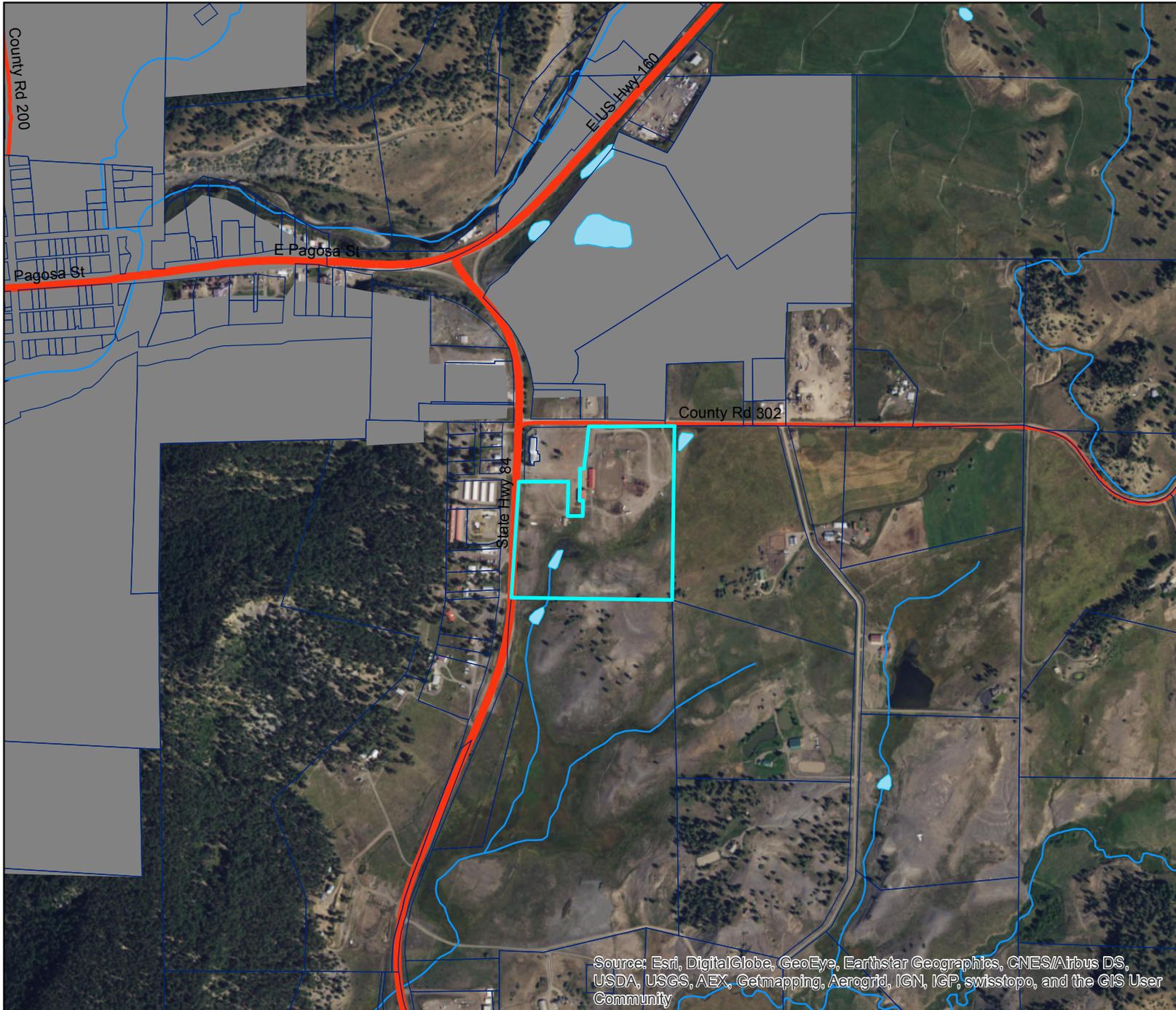
Attachment 3: Applicant's Narrative and Operating Proposal

Attachment 4: Building Plans 7/26/16

Attachment 5: Site Plan 7/19/16

Attachment 6: Planning Commission minutes for July 27, 2016

Attachment 7: Boundary Line Adjustment Sketch Map (11/03/2016)



## Site Map

WHEC Event Center  
 PLN16-071 CUP  
 PLN16-072 VAR

### Legend

-  Highway
-  Primary Road
-  Lakes
-  Pagosa Springs
-  Parcels
-  Project Location

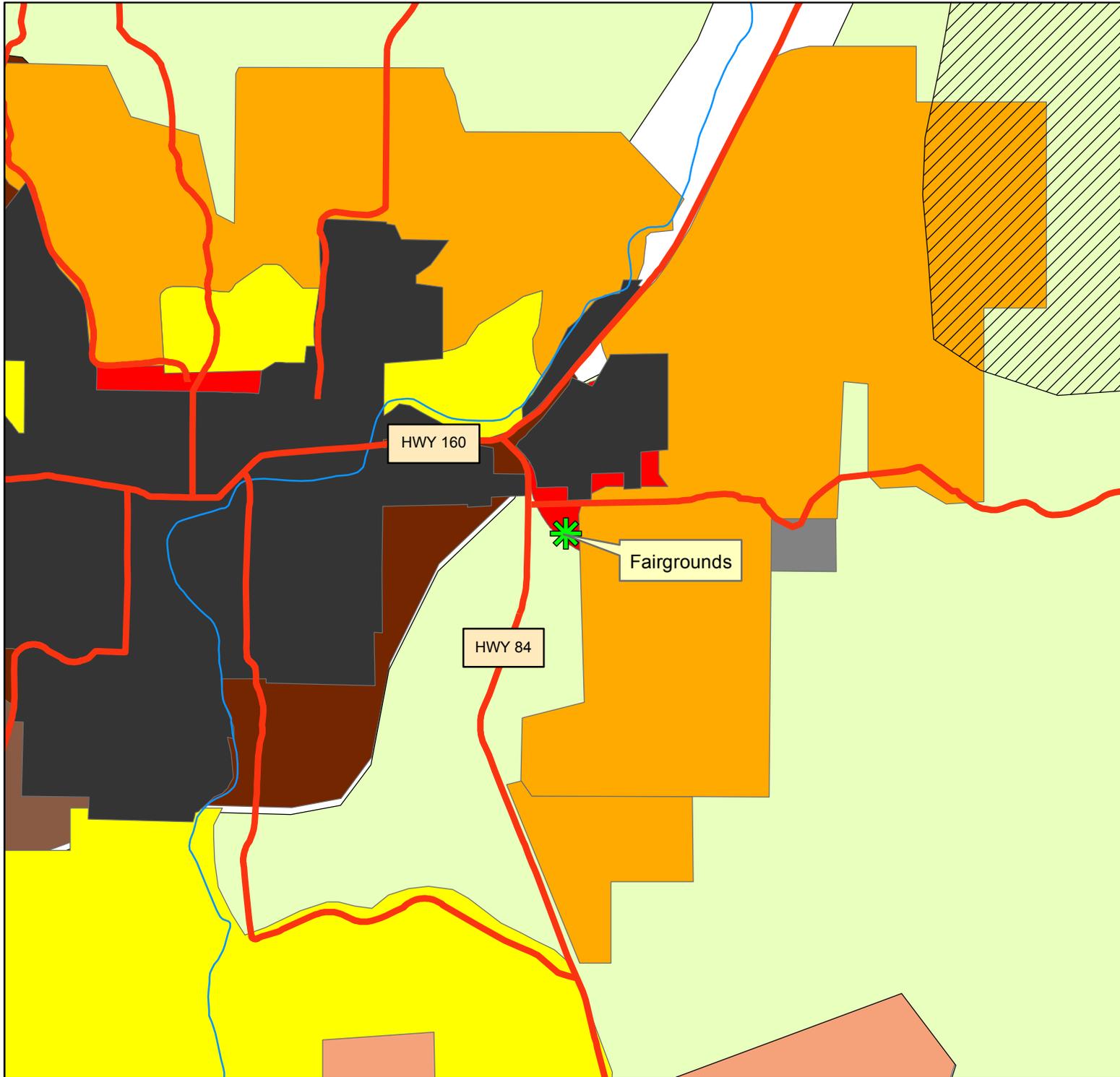


440 220 0 440 Feet



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

# Archuleta County Community Plan Detail: Future Land Use



## Legend

- Major Roads
- Rivers & Streams
- Lakes
- Critical Wildlife Habitat
- Migration Corridor
- Pagosa (2009)
- Tier 1
- Tier 2
- Industrial Park
- Commercial Area

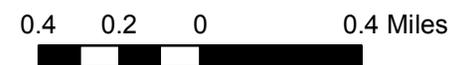
## Future Landuse

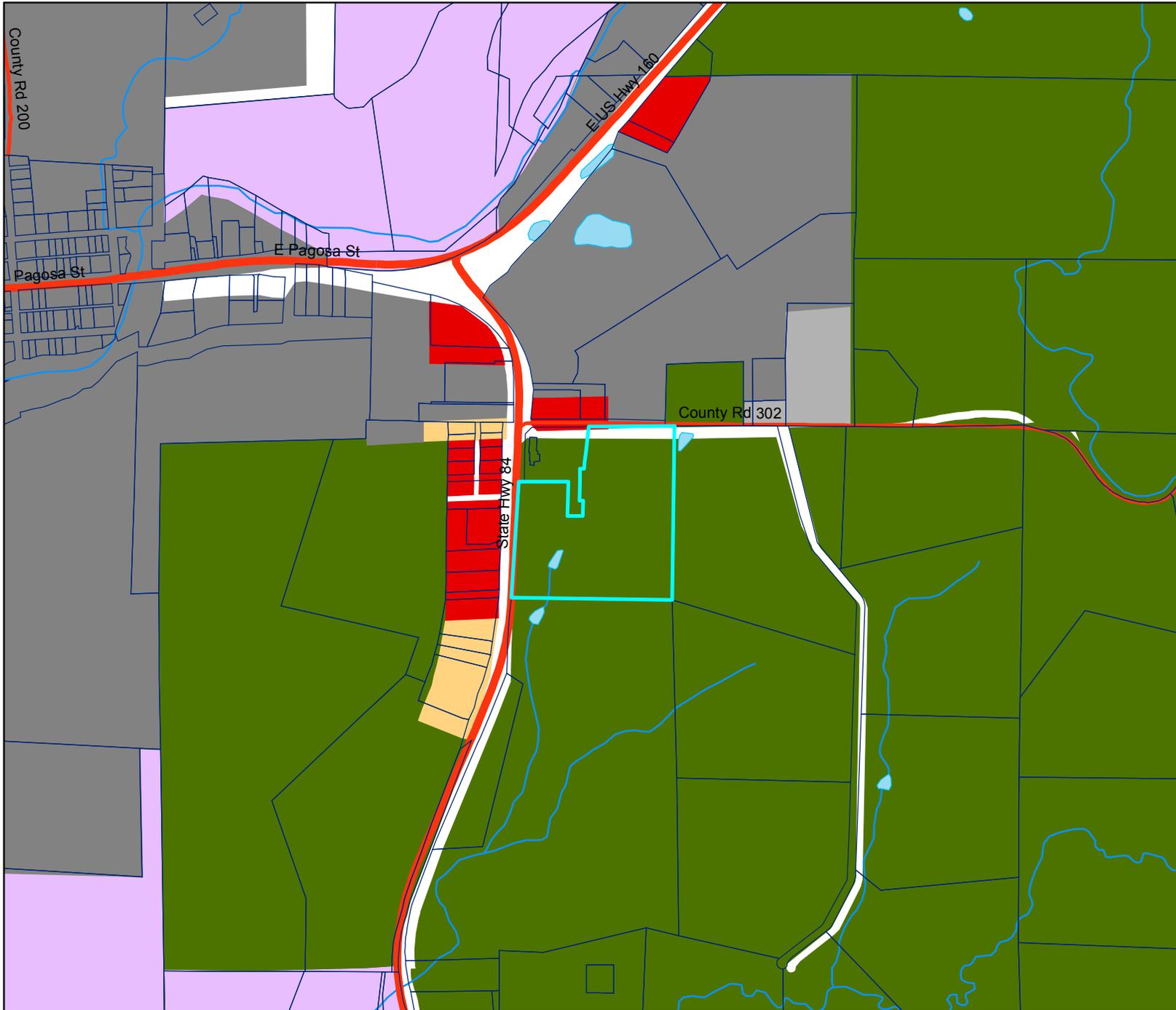
- High density residential
- Medium density residential
- Low density residential
- Very low density residential
- Public land
- Village Center



Detail of map developed 21 Sept 2011

Archuleta County Development Services  
30 June 2016





## Site Map

WHEC Event Center  
 PLN16-071 CUP  
 PLN16-072 VAR

### Legend

-  Highway
-  Primary Road
-  Lakes
-  Pagosa Springs
-  Parcels
- Zoning Map 2011**
- Zoning Districts**
-  Agriculture Forestry (AF)
-  Agriculture Ranching (AR)
-  Agricultural Estate (AE)
-  Rural Residential (RR)
-  Residential (R)
-  Mobile Home Park (MHP)
-  Commercial (C)
-  Industrial (I)
-  PUD
-  Project Location



440 220 0 440 Feet



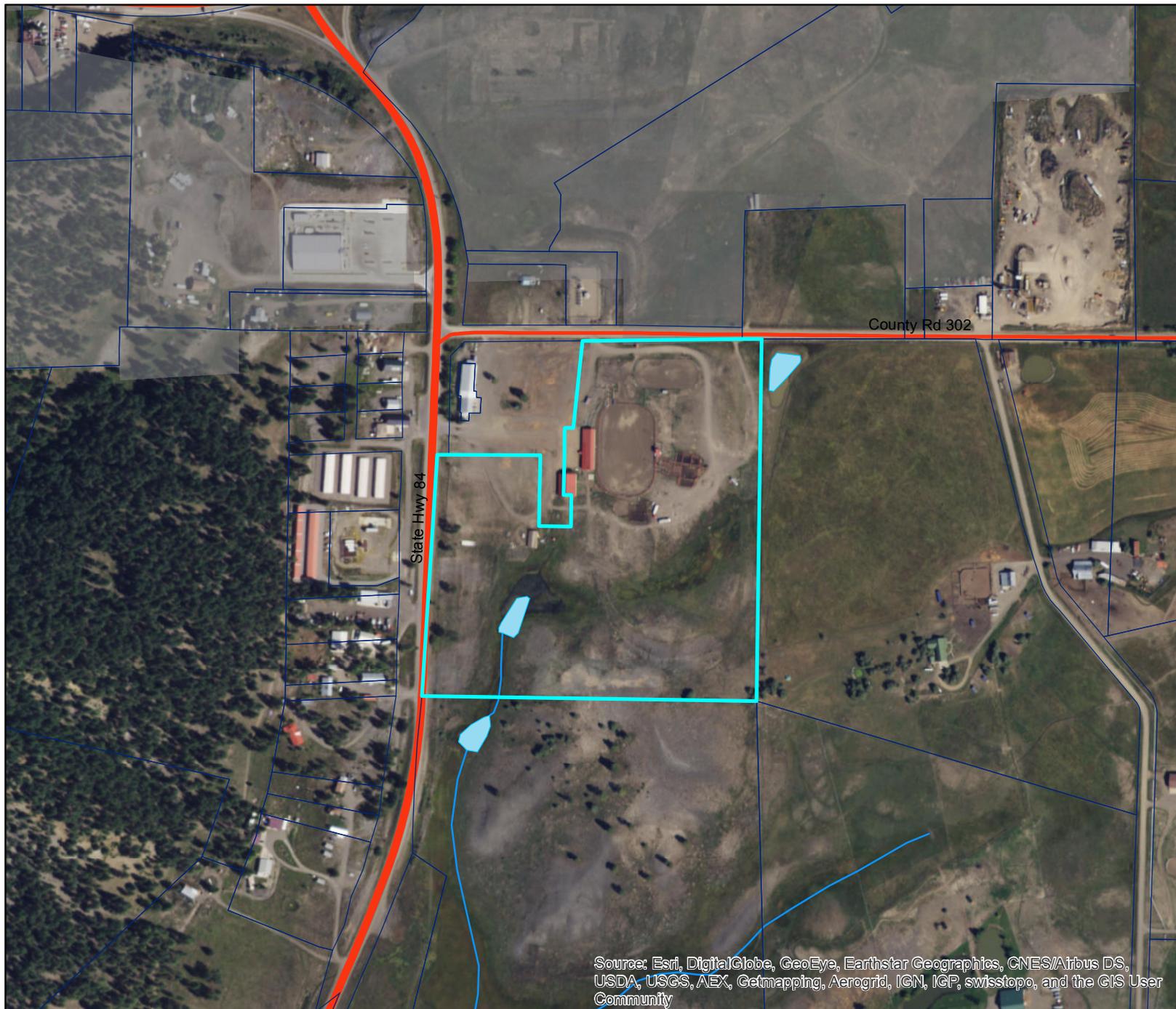


## Site Map

WHEC Event Center  
PLN16-071 CUP  
PLN16-072 VAR

### Legend

-  Highway
-  Primary Road
-  Lakes
-  Pagosa Springs
-  Parcels
-  Project Location



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



210 105 0 210 Feet





**MEMO**

Date: July 7, 2016

To: John Shepard

From: Yari Davis

Cc: Bob Perry

RE: Fairground Event Center

The Engineering Department has reviewed the variance requested by Fairground Event Center from Archuleta County Road & Bridge Design Standards, section 27.1.7.3.F and section 27.1.7.4.C, "that requires driveway and parking serving commercial uses must be paved". The Engineering Department has no objections with the variance approval. Comments and requirements follow:

- The driveways and the parking lots shall meet all the other requirements in the Archuleta County Road & Bridge Design Standards, Section 27.1.7.3. and 27.1.7.4. After reviewing the plans, appears there are not enough parking spaces to accommodate the proposed occupancy of the building. The Engineering Department requires Applicant to define and build, according to Road & Bridge Standards, for gravel parking, the areas where the horse trailers and extra parking would be located.
- After construction of the Fairground Event Center building and before the Building Department provides the Certificate of Occupancy (CO) to the applicant, the Engineering Department will require a signed and sealed letter from the design engineer stating that drainage and detention pond were built according to approved plans date 06/06/16.



# Pagosa Fire Protection District



July 11, 2016

Subject: WHEC Archuleta Education and Equestrian Event Center  
Owner: Archuleta County  
Project: Land Use Permit/Variances  
Address: 344A US HWY 84 Pagosa Springs Colorado

Attention: John C. Shepard, AICP

Dear Sirs;

The Pagosa Fire District has no objections to the landscape variances requested.

Also the fire district has no objections to the land use request for an Event Center, we would require a plan review prior to construction to insure compliance with the Fire Code.

The gravel access road detailed on the provided site plan does not meet the requirements of section 503 Fire Apparatus Access Roads.

503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and ***shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls*** of the first story of the building as measured by an approved route around the exterior of the building or facility.

Exception: The fire code official is authorized to increase the dimension of 150 feet where:

1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.
- 2. Fire apparatus access roads cannot be installed because of location on property,*** topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.
3. There are not more than two Group R-3 or Group U occupancies.

The District is willing to grant the exception and increase the distance to 160 feet, in order not to require an access road on the north side of the building. The District would require that the access road be designed to provide equipment access to both north corners of the perposed building. Please see attached site plan PDF.

*David Hartman*

David Hartman  
Fire Marshal



551 Hot Springs Boulevard  
Post Office Box 1859  
Pagosa Springs, CO 81147  
P: 970.264.4151  
F: 970.264.4634

Town of Pagosa Springs  
Planning Department

Date: July 05, 2016  
To: John Shepard, Archuleta County Planning Department  
Re: Western Heritage Events Center land use application, 344A, US Hwy 84

Hello John,

Thank you for forwarding the application for 344A, US Hwy 84 regarding a land use application for the Western Heritage Event Center's (WHEC) proposed arena and other additional improvements. I have the following comments regarding the application you and the Archuleta Planning Commission will be considering.

**1) Address Designation:**

It appears the property's access is through the County owned property along Hwy 84, with direct access to the WHEC parcel along Mill Creek Road. With the proposed improved main access from Mill Creek Road, the WHEC parcel should be re-addressed from Mill Creek Road instead of Hwy 84.

**2) Access:**

The proposed site plans appear to indicate improving the existing two points of access from Mill Creek Road will remain in the same existing locations. These locations are acceptable.  
Does the Hwy 84 access change to a RI/RO?

**3) Fire Hydrants:**

Depending on distances from proposed Fire Hydrants to the parking lot areas, additional fire hydrant(s) maybe be warranted or considered.

**4) Paving Variance request:**

It is reasonable to consider a variance for paving the parking lot due to the nature of the proposed continued limited use of the event grounds, however, having attended many events over the years, dust created in the parking lot can be a substantial issue to event attendees and surrounding properties. SW summer winds will carry the dust to the neighboring proposed Mountain Crossing commercial development, on the North side of Mill Creek Road. If a variance is approved, Dust mitigation measures prior and/or during such events is highly recommended as a contingency of approval, as well as requiring paving a minimum of 20-30 feet of the access driveway approaches to Mill Creek Road. The Mountain Crossings development is about to begin asphalt improvements along Mill Creek Road, and paving the access approaches will help protect the asphalt surface from accumulation of gravel and dirt. The Town is moving forward with annexing this portion of Mill Creek Road from the County.

**5) Mill Creek Road:**

As mentioned above, the Mountain Crossing development is about to improve the 1800 lineal feet east of Hwy 84, and the town is progressing with the annexation of such roadway length. The cross section includes two 12 drive lanes and one 14-foot center turn lane. Additionally, a sidewalk on the north side and on street bike lanes OR a multi-use trail along the north side will be included. Typically, development improvements would trigger participation in such improvements. Consideration should be given to the addition of pedestrian facilities along the south side of Mill Creek Road, that may require an additional dedication of ROW.

**6) Landscaping Variance Request:**

It is reasonable to consider the interior parking lot landscaping variance if approving a variance for paving of the parking lot, however, at a minimum, landscaping along the Mill Creek Road frontage is highly recommended, to provide a buffer and screening of the fairly sparse property, from future adjacent uses, especially the Mountain Crossing development on the north side of Mill Creek Road. Additionally, Landscaping with trees around the proposed arena footprint would provide an enhancement to the proposed structure and development. Revegetation of all disturbed areas should not be considered for variance. Typically, variances are not granted on the basis of financial reasons.

**7) Setback Variance request:**

I see no issues with the request setback variance.

**8) Exterior Lighting:**

Though Parking Lot lighting is not proposed, any exterior lighting should require the concealment (shielding) of light sources from off site.

Thank You for your serious consideration of the recommendations provided above,

*Respectfully,*



James Dickhoff

Town of Pagosa Springs

Planning Department Director

Po Box 1859

551 Hot Springs Blvd.

Pagosa Springs, Co. 81147

970-264-4151 x225

[jdickhoff@pagosasprings.co.gov](mailto:jdickhoff@pagosasprings.co.gov)

## John Shepard

---

**From:** Heinlein - CDOT, Jo <jo.heinlein@state.co.us>  
**Sent:** Tuesday, July 19, 2016 1:46 PM  
**To:** John Shepard  
**Subject:** Re: FW: COUNTY REVIEW: WHEC Event Center CUP/Variances, 344A US Hwy 84 (PLN16-071/16-072)

John,

I agree with Jim. Their new proposed site plan shows three accesses onto Mill Creek Road. I believe all three of these are currently existing and should provide more than adequate access and site circulation to meet the Center's needs.

1. The westernmost access onto Mill Creek Road does not meet the intersection spacing requirements (distance from intersection with highway).
2. It is likely that the existing uses already warrant a left turn deceleration lane from SH 84 onto Mill Creek Road.
3. The proposed covered arena will allow other, different types of events to occur at the Center (in addition to the ones currently taking place at the site). This could potentially generate even more traffic than the site currently generates since a covered facility opens the Center up to events of a nature which would not be appropriate for an open-air facility.
4. The existing access for the Center onto SH 84 is much too close to Mill Creek Road to allow for safe simultaneous use of both access points.
5. I believe it would be in the best interests of the Center, the County, and CDOT to review a new access permit application for Mill Creek Road. A traffic impact study may be required.

Let me know if you have additional questions or concerns.

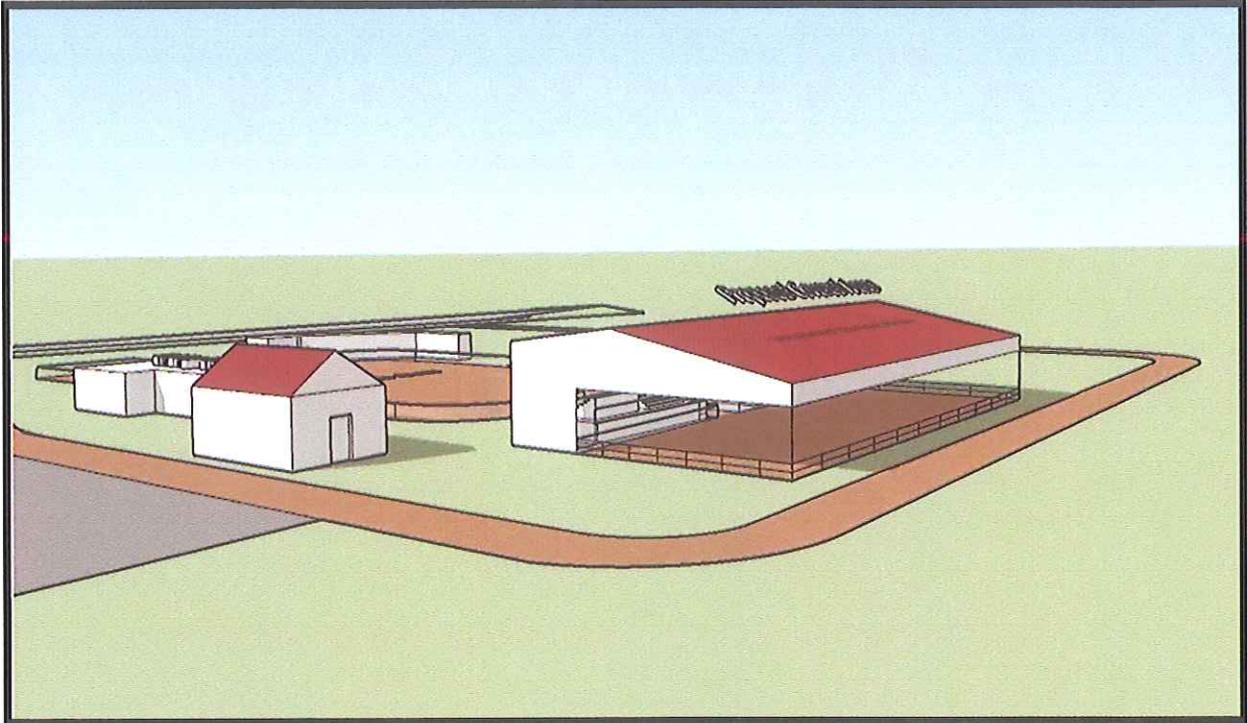
Thank you,

On Tue, Jul 19, 2016 at 1:07 PM, John Shepard <[jShepard@archuletacounty.org](mailto:Shepard@archuletacounty.org)> wrote:

Jo- Do you have comments on the WHEC Events Center proposal? Apparently Jim Horn had told folks (sometime) that the primary access on US Highway 84 would have to be closed the next time there were any improvements on either parcel at the Fairgrounds. The Western Heritage group believe the covered arena will simply displace existing activity, not add any additional traffic generation.

We're looking to do notice for next round in August, so I can take comments to them later if you need more time.

# PROPOSAL FOR CONDITIONAL USE PERMIT



## Western Heritage Event Center Proposed Covered Arena

**Location: 344A US Highway 84  
Pagosa Springs, CO 81147**

**Prepared For: John C Shepard AICP  
Planning Manager, Archuleta County  
1122 Highway 84  
Pagosa Springs, CO 81147**

Western Heritage Event Center  
344A US Highway 84  
PO Box 1841  
Pagosa Springs, CO 81147

## **Overview of Western Heritage Event Center (WHEC)**

Pagosa Springs Enterprises was established in 1949. Pagosa Springs Enterprises was the original governing body of the Western Heritage Event Center. Membership fees and donations from local families were used to put on the Red Ryder® Rodeo, county fair and 4-H events.

In the 1990's, 501(c)(3) non-profit status was attained from the IRS and the name was changed to Western Heritage Event Center (WHEC).

WHEC is governed by nine directors known as the "Board of Directors". Each board member serves a term of three years or until resignation or removal by a majority vote of the Board or until the end of an appointed term.

The current mission is to provide an annual 3-day Red Ryder® Roundup Rodeo as well as a year-round venue for education and training for youth and equestrian events for Archuleta County. The facility also hosts a summer rodeo series with an average of six performances. The Western Heritage Board is dedicated to preserving the history and traditions of the American West.

Currently, the WHEC property is mainly used for the Red Ryder® Roundup Rodeo and for the Archuleta County Fair. It is used by joint agreement wherein WHEC uses the entire grounds (including property owned by Archuleta County) during the Red Ryder® Roundup Rodeo over the 4<sup>th</sup> of July and Archuleta County uses the grounds (including property owned by WHEC) for the County Fair during the first week of August. The arrangement has long been in practice with no contention.

## **Description of Existing Site**

Address: 344A Highway 84; Pagosa Springs, CO 81147

Parcel Number: 57118412002

Legal Description: Fairgrounds L 2M, Fairgrounds minor lot: 2M fairgrounds minor impact lot 2M; 18-35-1 W Plat #724 #20501847

Site Size: 29.9 Acres

## **Description of Improvements**

The subject's existing improvements consist of a 210' X 330' outdoor pipe arena, covered spectator bleachers, outdoor spectator bleachers, announcer's stand with office, and livestock handling facilities and corrals. In addition, the site is improved with a 6,000 sf block building that includes bathroom facilities, upstairs activity room, and rear storage. The block building was built in 2005.

Horizontal improvements include public water, sewer (PAWS), and electricity (LPEA).

An aerial photograph of the property can be seen in the addendum of this narrative courtesy of Archuleta County GIS.

## **Description of Proposed Use**

The Conditional Use Permit is for a proposed covered arena located on WHEC grounds. As depicted in this application by the visual illustrations, the arena is 164' X 250' with 130' X 250' clear span. It is to be of commercial grade steel construction classified as an "Average Class D" arena in the Marshall & Swift Cost Handbook.

Once completed, the building will be a public use facility for the following purposes:

- Equine events
- Rodeo
- 4-H events
- Education & training events

These are the main intended uses of the arena, however, the potential use could be for many other reasons. Again, use of the facility will not be for private use but for the good of the community in the promotion and promulgation of western heritage, agriculture, and youth education.

The two main events in any given year are the Red

## **Arena Funding & Oversight**

Funding for the arena is largely made up by private donors with a portion of the funds by matched county grants. The general contractor and on-site construction management will be provided by the Western Heritage Board. Once entitlements are in-place, construction is expected to take one year.

## **Surrounding Property Uses**

The existing improvements and proposed project is located on the outskirts of the original Town of Pagosa Springs in Archuleta County. Surrounding uses include agricultural land to the north, east, and south, and residential and commercial land to the north.

## **Access**

For many years, historic access for both the County Fair and Red Ryder® Roundup has been via Highway 84 to County Rd -302 (Mill Creek Road) to the spectator and competitor parking. Per the engineered plat, a circular road with two access and departure points off Mill Creek Road will be constructed for the efficient movement of traffic to and from the facility.

A secondary entrance directly off Hwy 84 is used for daily operation of the existing County Extension office. Per historic agreement with CDOT, this entrance will be vacated once the covered arena is built. Again, this entrance is not used during the two main events of the year.

## **Parking**

The proposed arena will not provide for increased spectators or competitors. No additional seating or spectator accommodations are planned within the building. At peak occupancy during County Fair, the building will take the place of one of the livestock tents that are currently constructed each year. Without a significant expected increase in attendees, the existing handicap parking and facilities are considered sufficient with two additional handicap parking spots adjacent to the covered arena.

In short, the existing graveled parking areas will be used with no expected increase in parking requirements.

## **Parking Lot Lighting**

No new parking lot lighting is proposed as the new building provides for no new uses for the grounds. Further, attendee numbers will not be increased by the new facility.

## **Utilities**

The proposed project will need water and electricity. The water is necessary for fire suppression by hydrants (two located on east and west sides of the building), and electricity for lighting. All lighting will be subject to “dark sky” lighting regulations.

## **Fire & Safety**

As previously mentioned, fire suppression and safety will be mitigated by two fire hydrants located on opposite east and west corners of the building. The water tap is from the main line adjacent to Highway 84.

## **Caretaker**

Located on-site is a RV hook-up for a recreational trailer/camper. The caretaker provides general oversight and security of the property. Additional responsibilities are facility trash management, weed and grass control, and donation box management. The caretaker usually arrives mid-May and departs in November. The RV accommodation for a seasonal on-site caretaker (RV Site) has been in existence for many years.

## **Drainage & Wetlands**

Per drainage study by Davis Engineering, all drainage from the parking areas, existing improvements, and proposed improvement will be directed to a central point, south of the

proposed building, into a detention pond. From the detention pond overflow, the excess water will flow southwards to an existing tail-water drainage canal.

The proposed improvement does not encroach on any existing wetlands and will have no negative impact on riparian or wildlife habitat areas.

## **Operation & Future Plans**

Once construction is complete, the WHEC organization intends to quit-claim the new arena together with directly supportable land to Archuleta County. At that time, agreements shall be put in place for cooperative use and management of the facility. From previous meetings with the Board of County Commissioners, this is an acceptable outcome for the proposed project.

## **Conclusion**

In summation, the WHEC proposes the construction of a very large covered arena made possible mainly by private donors. The overall intended purpose is for the good of the community in providing a safe, secure, and weather-proof facility that can be utilized year-round for many different events and activities. The building will serve as an additional facility to what already exists and presents a better, more functional facility for the County Fair and Red Ryder® Roundup Rodeo.

# **WHEC**

## **Covered Event Center**

## **Operating Agreement**

This following operating and conveyance agreement is based on conversations with Archuleta County and sub-committee Board of Directors for WHEC

Archuleta County representatives include:

- Roberta Toland: Archuleta County Extension Agent
- Terry Schaaf: Administrative Assistant
- Chris Stacey: County Maintenance Director

Board of WHEC representatives include:

- Jess Ketchum
- JR Ford
- Diane & Randy Talbot
- Lisa Scott

This document is a preliminary operating and development plan for the covered event center planned for construction. This initial draft is intended to begin the process of determining a practical and functional strategy for the operation of the covered event center for the purpose in which it is designed to serve. It is in no way a binding agreement but is presented for the purpose of conveying the intent and purpose of the WHEC board for use of the building. From this proposal, fixed and variable operating costs can be estimated on what the County will be responsible for once the deed is conveyed. This document cannot encompass all issues that are certain to rise but it is believed that these, many times unknown, issues will be resolved as they happen. A complete operating statement will be officially decided upon by both parties when the building is actually conveyed to the County.

### **History of WHEC**

As previously presented in the CUP approval application, Pagosa Springs Enterprises was established in 1949. Pagosa Springs Enterprises was the original governing body of the Western Heritage Event Center. Membership fees and donations from local families were used to put on the Red Ryder® Rodeo, county fair and 4-H events.

In the 1990's, 501(c)(3) non-profit status was attained from the IRS and the name was changed to Western Heritage Event Center (WHEC).

WHEC is governed by nine directors known as the "Board of Directors". Each board member serves a term of three years or until resignation or removal by a majority vote of the Board or until the end of an appointed term.

The current mission is to provide an annual 3-day Red Ryder® Roundup Rodeo as well as a year-round venue for education and training for youth and equestrian events for Archuleta County. The facility also hosts a summer rodeo series with an average of six performances. The Western Heritage Board is dedicated to preserving the history and traditions of the American West.

Currently, the WHEC property is mainly used for the Red Ryder® Roundup Rodeo and for the Archuleta County Fair. It is used by joint agreement wherein WHEC uses the entire grounds (including property owned by Archuleta County) during the Red Ryder® Roundup Rodeo over the 4<sup>th</sup> of July and Archuleta County uses the grounds (including property owned by WHEC) for the County Fair during the first week of August. The arrangement has long been in practice with no contention.

### **Description of Existing Site**

Address: 344A Highway 84; Pagosa Springs, CO 81147

Parcel Number: 57118412002

Legal Description: Fairgrounds L 2M, Fairgrounds minor lot: 2M fairgrounds minor impact lot 2M; 18-35-1 W Plat #724 #20501847

Site Size: 29.9 Acres

### **Description of Improvements**

The subject's existing improvements consist of a 210' X 330' outdoor pipe arena, covered spectator bleachers, outdoor spectator bleachers, announcer's stand with office, and livestock handling facilities and corrals. In addition, the site is improved with a 6,000 sf block building that includes bathroom facilities, upstairs activity room, and rear storage. The block building was built in 2005 and is owned by Archuleta County.

### **Future Plans & Events**

Once entitlement and construction phases are complete and the event center is finished, WHEC intends to quit-claim the real property including the improvement and directly supportable land to Archuleta County for a public-use facility. The intention is that both Archuleta County and WHEC benefit from the use of the building in the continued promotion of 4-H activities and western heritage activities.

The building is intended to replace and enhance current improvements on the property. Consequently, the two main events are the Archuleta County Fair and the Red Ryder Roundup Rodeo. Of the two, the building will be most heavily used at the County Fair as this building will take the place of the livestock tent that is currently used for the livestock exhibitors. The three-day Rodeo event is held in the open-air arena and the covered arena will be used as a warm-up arena for the competitors.

Other special events are not anticipated to the large size and scale of the County Fair and Rodeo. They will mostly be secondary uses that occur on a weekly basis during the summer

such as the 4-H horse project which involves a dozen or so youths riding horses in the arena one evening a week. Another current use which may utilize the arena is the Backcountry Horsemen who have a “team-sorting” on Saturday mornings with an estimated 10 to 20 participants. In addition to these secondary uses, the arena is intended to be open to public individuals who desire to ride horses during the winter months. Specific uses beyond the above mentioned are hard to predict. It is anticipated that equestrian use will be very little during December, January, and February.

Other anticipated uses include using the building as a “wildfire safe-zone” for the emergency management of animals. (WHEC grounds are also in this designation)

## **Operation**

Once the County owns the building and property, scheduling of the previously mentioned “secondary” events will be coordinated by the Extension Office much the same way as the Extension building is used for private weddings and memorial services. A fee schedule will be set up depending on the type of event to off-set the cost of maintenance, e.g. WHEC charges \$250 per Thursday night rodeo for the use of the open arena.

Historically, WHEC and the County have had a reciprocal agreement that the County uses the entire grounds during the County Fair and the Rodeo uses the grounds during the Rodeo. This has been in practice since the parking lot and block bathroom building was deeded to the County. Other secondary shared-ground events are coordinated on individual basis according to scheduling. This type of arrangement is intended to continue once the event center is conveyed.

## **Bathroom Facilities**

At present, the County bathroom facilities are only open to the public during the County Fair and Red Ryder Roundup rodeo. The County pays for cleaning and toiletries during the Fair and WHEC pays for these items during the Rodeo. Beyond namely the Fair, the bathrooms will not be open to the public. For smaller, secondary events, a portable outhouse will be available in both summer and winter. Please note, during the summer months up to four portable outhouses are available around the open-air WHEC arena. In short, bathroom costs for an additional portable out-house will be required in addition to current permanent bathroom costs.

## **Water & Electricity**

Two fire hydrants will be installed on opposite corners of the building. Off this, two frost-free hydrants will be installed for 4-H animal use. The building includes no other plumbing and the cost of water should be minimal.

Dust control and performance conditions of equestrian arenas are controlled by water. Water moistens the ground for grooming and eliminates dust. Currently, the open-air arena is

watered by electric pump from an irrigation pond. Tail-water irrigation/water rights from the Park Ditch Water Company supply this pond. It is conveniently located near the new building and an agreement is probable for the new building to use this water to irrigate the in-door ground.

Electrical power will be installed in the new building from the County's meter near the block building. It will be of sufficient quantity to provide lighting for the entire arena and electrical plugs for the grooming of animals in preparation for the livestock show. Studies are also being conducted for a "pay-as-you-use" electrical meter in which private individuals can use digital payment for the use of electricity—similar to a self-serve carwash. Thus, the cost for electricity should not exceed what is currently used for the livestock tent during the County Fair. All other users would pay for the electricity via a self-service type metering system or by agreement with the County scheduler.

### **Snowplowing & Road Maintenance**

As depicted in the plat, a circular access road will be installed around the grounds for emergency management as well as functional ingress and egress of the property. Approximately half of this road will be on County land and half on WHEC land. Access easements will be granted to both parties for the use of this road. It will be the responsibility of the County for gravel maintenance on County land and WHEC for gravel maintenance on WHEC land. Additional County responsibility will be for the small handicap accessible pad in front of the arena along with other issues caused by use and deterioration.

As the WHEC grounds are typically closed during the winter months, snow removal and access to the building will be the responsibility of the County. As such, with minimal expected use during mid-winter, the access road will probably not require complete snow removal all the way around but a drive path to the building with a small cleared parking lot.

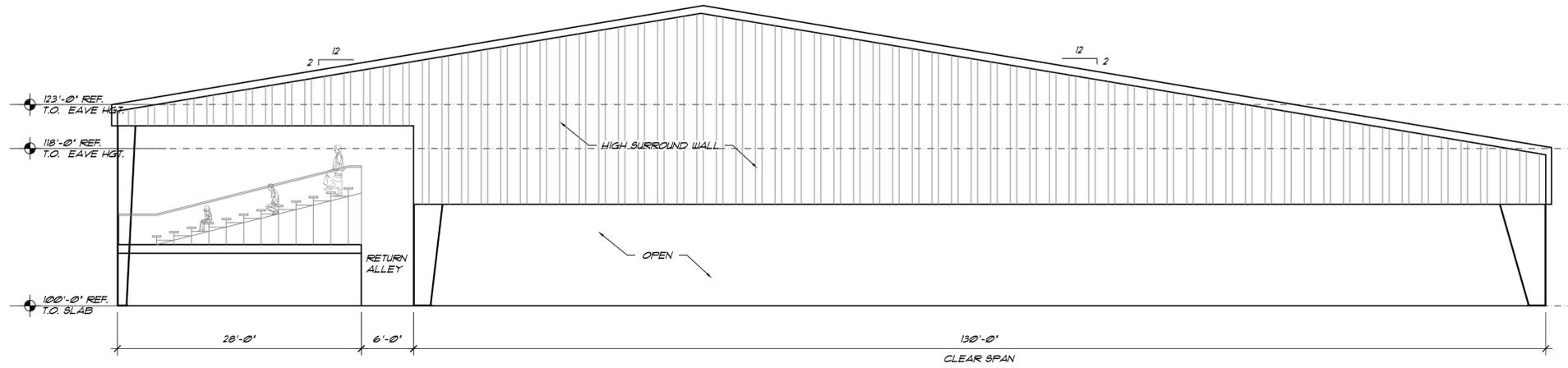
### **Other Maintenance**

Beyond the typical maintenance of changing light bulbs, road maintenance, and portable out-house facilities, other maintenance would include weekly watering and disking of the arena. Grooming of the grounds is necessary for dust control and provides safe footing for performance animals. Other County and privately owned covered event centers in the area typically employ this type of grooming schedule.

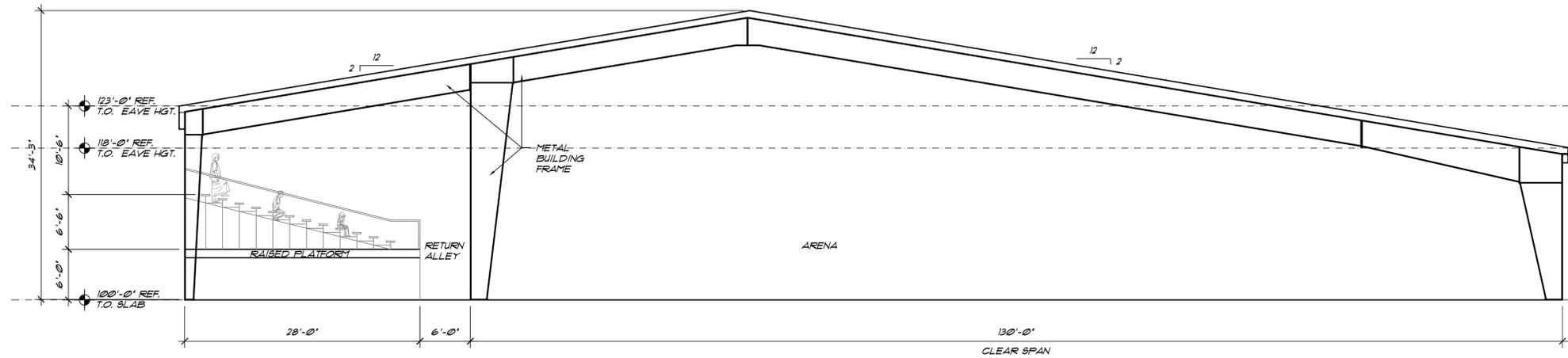
### **Conclusion**

The conclusion is that the use of this building does not exclude activities outside of 4-H youth events or western heritage events. However, in perpetuity, these types of events should take priority over any other type of event. This is the intention of the WHEC board and why the board is prepared to convey this facility to the County. A building of this magnitude is beyond the scope of what the WHEC organization is equipped to effectively manage and would be in better hands with County oversight. Above all else, the building's purpose is for the 4-H youth

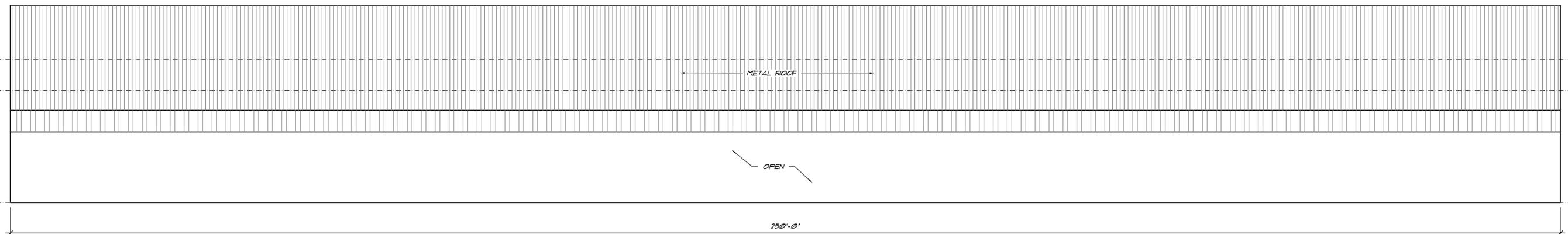
of this community and for the education, enjoyment, and promotion of this area's agricultural western heritage and history.



**ELEVATION A**  
SCALE: 1/8" = 1'-0"  
A-201



**BUILDING SECTION B**  
SCALE: 1/8" = 1'-0"  
A-201



**ELEVATION C**  
SCALE: 1/8" = 1'-0"  
A-201



**REYNOLDS + ASSOCIATES**

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ENGINEERING

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**PROGRESS SET  
NOT FOR CONST.**

ARCHULETA COUNTY  
RODEO GROUNDS  
PAGOSA SPRINGS, CO 81147

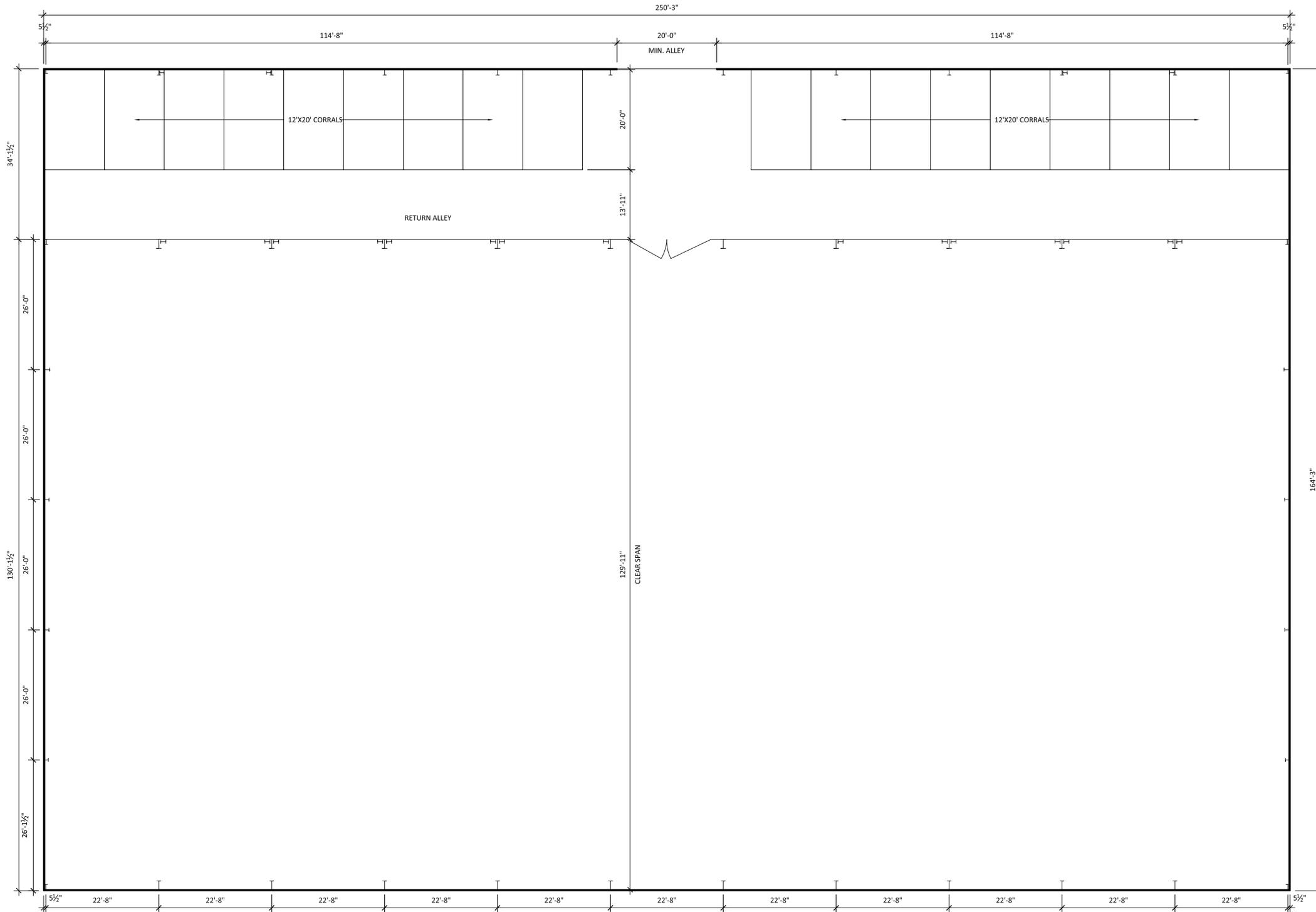
JOB NO.: 14005  
DATE: 2014-10-24  
DRAWN BY: CLK

ISSUE RECORD:

REVISIONS:


**A-201**

EXTERIOR  
ELEVATIONS



ARENA FLOOR PLAN

SCALE: 3/32" = 1'-0"



NORTH

**FAIRGROUNDS ARENA**  
 ARCHULETA COUNTY FAIRGROUNDS  
 PAGOSA SPRINGS, CO 81147



COURTNEY KING  
 ARCHITECTURE

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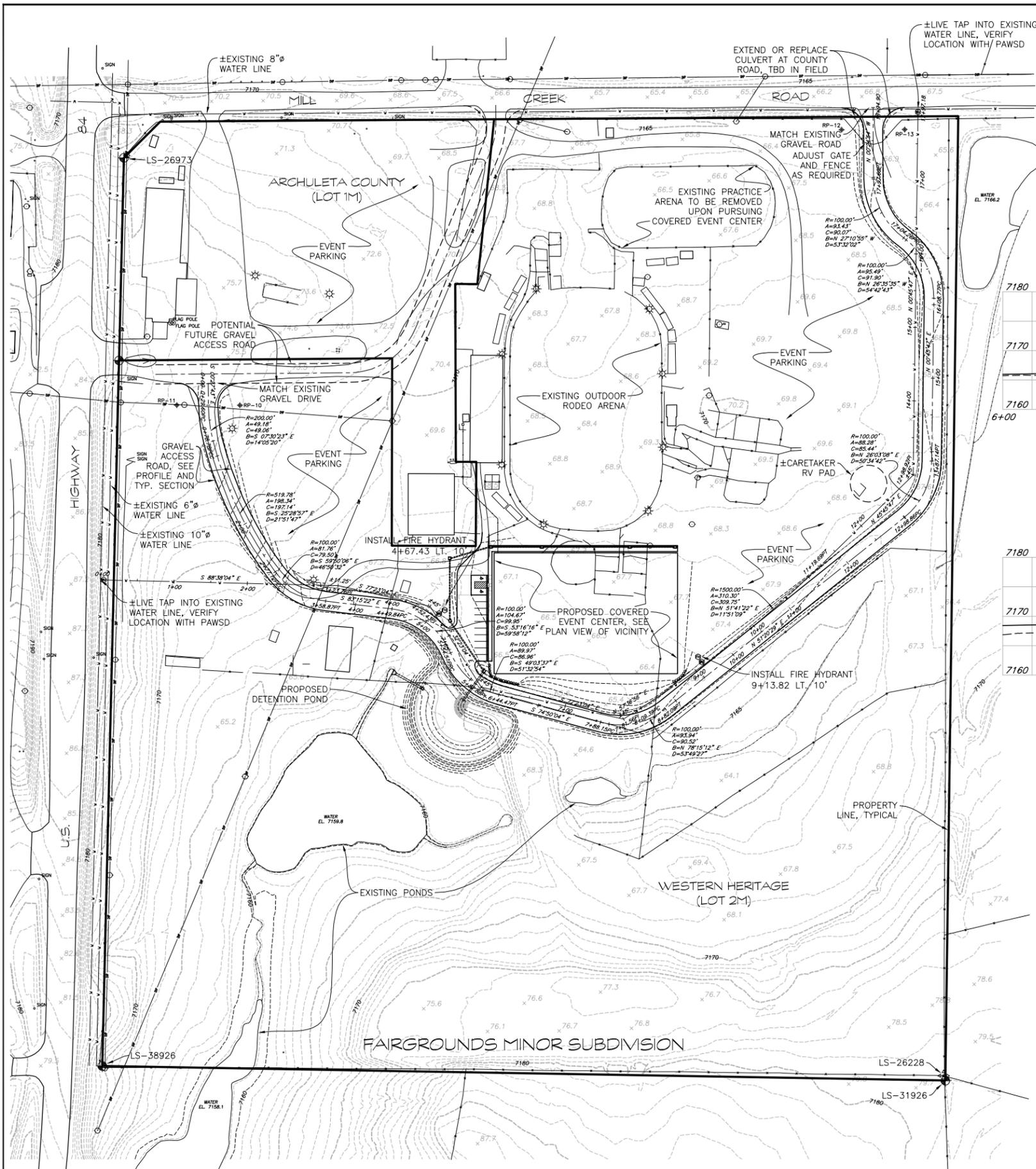
JOB NO.: 1512

ISSUE DATE:

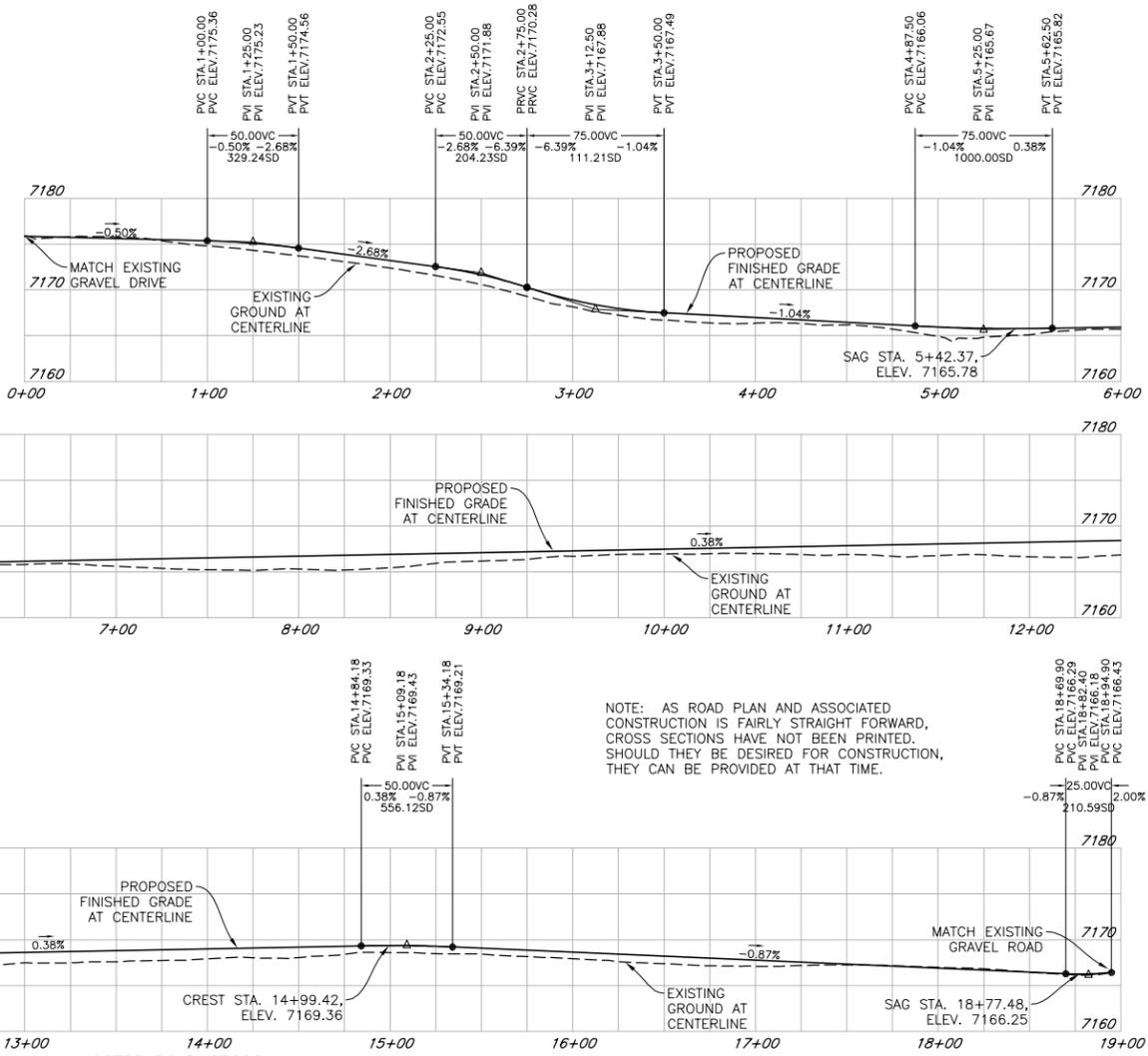
REVISIONS:

**A1**

FLOOR  
 PLAN



**ARCHULETA COUNTY FAIRGROUNDS - PLAN VIEW**  
SCALE: 1" = 80'



**ACCESS ROAD CROSS SLOPE STATUS**

STATION	CROSS SLOPE
0+00.00	MATCH EXIST.
0+29.60	-2% LEFT
3+58.87	-2% LEFT
4+49.84	-2% RIGHT
6+08.61	-2% RIGHT
6+80.33	-2% LEFT
18+50.00	-2% LEFT
18+94.90	MATCH EXIST.

**GRAVEL ACCESS ROAD - PROFILE**

HZ. SCALE: 1" = 50'  
VT. SCALE: 1" = 10'

NOTE: ENTIRE ROAD TO HAVE CONSTANT CROSS SLOPE, MAINTAIN OR TRANSITION CROSS SLOPE BETWEEN STATIONS INDICATED.

**RADIUS POINT TABLE**

RADIUS POINT	NORTHING	EASTING	NOTES
RP-01	1221189.6682	2566314.0067	10' TO EDGE GRAVEL
RP-02	1221129.8065	2566353.0682	9' TO EDGE GRAVEL
RP-03	1221251.8065	2566344.0067	20' TO EDGE GRAVEL
RP-04	1221302.0734	2566337.7051	20' TO EDGE GRAVEL
RP-05	1221135.3482	2566279.9325	11.5' TO CL BERM
RP-06	1221106.3120	2566297.4020	13' TO POND TOE
RP-07	1221123.7014	2566368.9700	53.5' TO TOE, 68.5' TO SWALE
RP-08	1221050.6294	2566388.8408	10.5' TO POND TOE
RP-09	1221065.8466	2566333.9096	67.5' TO TOE, 52.5' TO SWALE
RP-10	1221483.0088	2566027.8609	30' TO EDGE GRAVEL
RP-11	1221483.1727	2565941.8570	30' TO EDGE GRAVEL
RP-12	1221857.9342	2566848.4071	30' TO EDGE GRAVEL
RP-13	1221858.2059	2566934.4074	30' TO EDGE GRAVEL
RP-14	1221073.5258	2566338.9025	10' TO SWALE
RP-15	1221039.0568	2566360.1500	15' TO SWALE
RP-16	1221087.0551	2566275.1180	10' TO SWALE

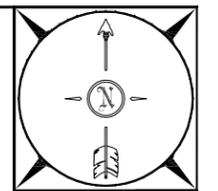
**SURVEY CONTROL COORDINATES**

DESCRIPTION	NORTHING	EASTING	ELEVATION
LS-31926	1220563.8770	2566989.7930	7179.07
LS-26228	1220570.5850	2566987.6040	7179.83
LS-38926	1220583.8080	2565840.2660	---
LS-26973	1221819.6650	2565869.7280	---
GRAVEL ACCESS ROAD 0+00	1221512.6064	2565984.6205	7175.86
FIRE WATER LINE 0+00	1221245.3080	2565938.0306	---
N. END SPILL CURB	1221251.8065	2566366.5067	7168.90
S. END SPILL CURB	1221134.8065	2566366.5067	7168.08
W. END MOUNTABLE CURB	1221292.0565	2566366.5067	7168.38
HIGH POINT MOUNTABLE CURB	1221292.0565	2566499.6317	7169.05
E. END MOUNTABLE CURB	1221292.0565	2566624.7567	7168.42
EVENT CENTER N.W. CORNER	1221282.0565	2566374.5067	7169.00
EVENT CENTER N.E. CORNER	1221282.0565	2566624.7567	7169.00
EVENT CENTER S.E. CORNER	1221117.8065	2566624.7567	7169.00
EVENT CENTER S.W. CORNER	1221117.8065	2566374.5067	7169.00

NOTES:  
1) SURVEY CONTROL SHALL BE VERIFIED PRIOR TO CONSTRUCTION. IT IS RECOMMENDED THAT ADDITIONAL CONTROL BE ESTABLISHED NEAR THE PROPOSED EVENT CENTER PROJECT.  
2) THE EVENT CENTER COORDINATES ARE PROVIDED BASED ON THE RECTANGLE WITH THE DIMENSIONS SHOWN. FINAL ARCHITECTURAL PLANS SHALL BE REFERRED TO FOR FOUNDATION AND OTHER BUILDING SPECIFICS.

**LEGEND (For 1" = 20' Scale Plan View)**

- 7165 --- Existing contour, one foot interval
- - - 7165 - - - Proposed contour, one foot interval
- --- Existing property line (record data)
- --- Existing water line
- --- Proposed water line w/stationing
- --- Existing overhead electric line
- --- Proposed electric line
- --- Proposed centerline w/stationing
- --- Existing drainage
- --- Proposed drainage
- --- Proposed significant grade break
- --- Existing fence
- --- Proposed curb & gutter
- --- Proposed truncated dome insert
- --- Proposed culvert w/ end sections
- --- Proposed catch basin in curb
- --- Proposed Type C catch basin
- --- Proposed riprap
- ⊙ Proposed Fire Hydrant
- ⊙ Proposed Water Gate Valve
- ⊙ Existing Light Pole
- ⊙ Existing Utility and/or Light Pole
- ⊙ Existing spot elevation from topo
- ⊙ Found property corner
- ⊙ Survey control point
- ⊙ Radius point
- ⊙ Proposed finished grade spot elevation
- ⊙ Proposed invert or flow line spot elevation
- Proposed finished grade slope
- Proposed invert or flow line slope



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FAX: (970) 264-0200

AS NOTED 06/06/16

01

07/19/16

01

Western Heritage Event Center  
c/o Jess Ketchum  
P.O. Box 4462  
Pagosa Springs, CO 81447

**Western Heritage Covered Event Center**  
Fairgrounds Plan, Road Profile, Survey Coord., Legend

P06827  
Sheet 2 of 3

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AS NOTED 06/06/16

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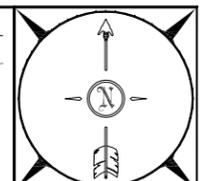
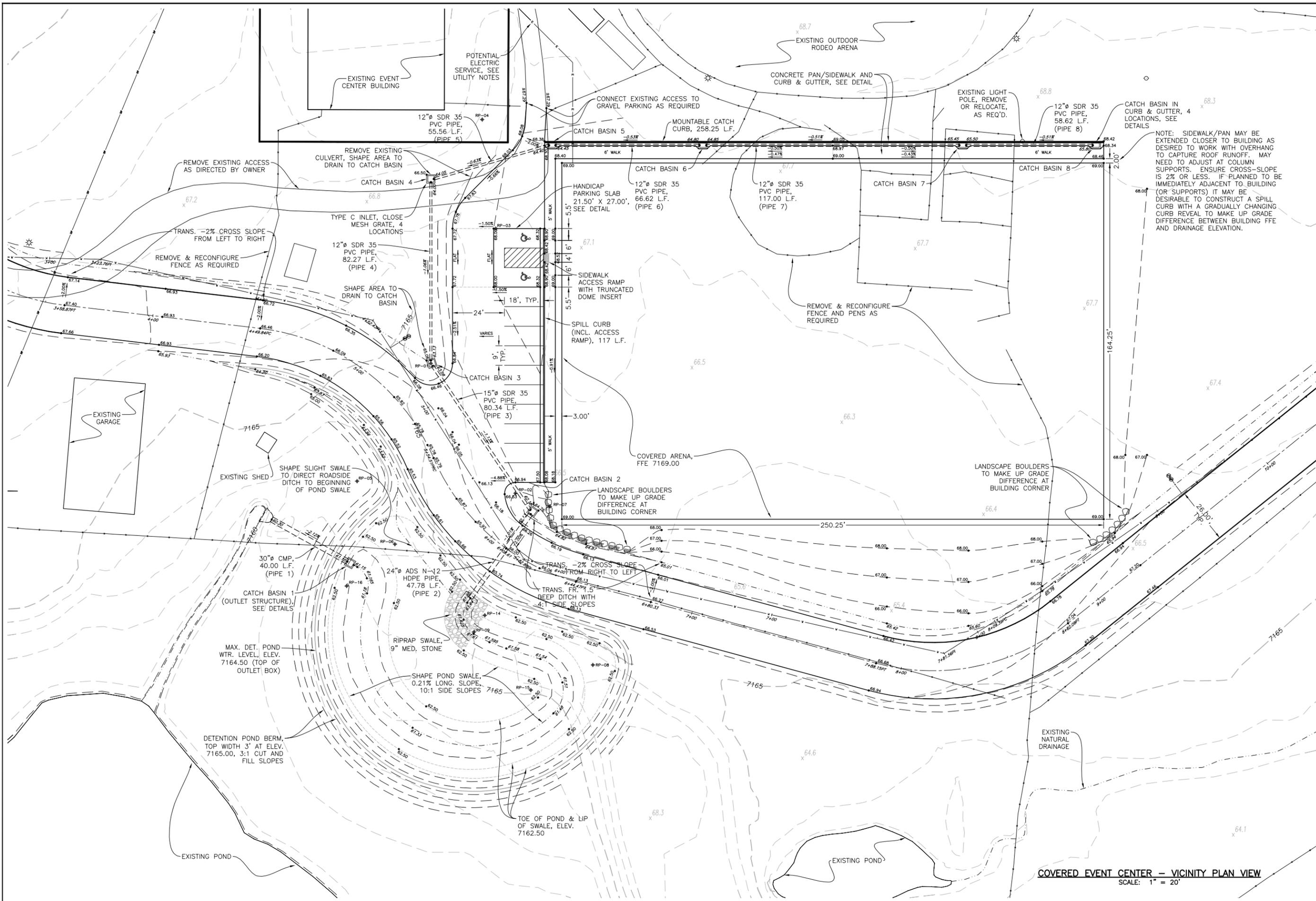
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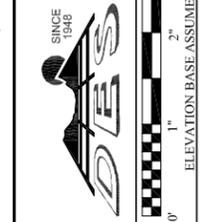
Western Heritage Event Center  
c/o Jess Ketchum  
P.O. Box 4462  
Pagosa Springs, CO 81447

**Western Heritage Covered Event Center**  
Fairgrounds Plan, Road Profile, Survey Coord., Legend

P06827  
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DATE DRAWN: 07/19/16  
 DRAWN BY: MMD  
 CHECKED BY: MMD  
 DATE APPROVED: 06/06/16  
 APPROVED BY: MMD

DATE	07/19/16	01	01
BY	MMD	MMD	MMD
CHK	MMD	MMD	MMD
APP	MMD	MMD	MMD

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Western Heritage Event Center  
 c/o Jess Ketchum  
 P.O. Box 4462  
 Pagosa Springs, CO 81147  
 Western Heritage  
 Covered Event Center  
 Vicinity Plan View

COVERED EVENT CENTER - VICINITY PLAN VIEW  
 SCALE: 1" = 20'



**Archuleta County Development Services Department  
ARCHULETA COUNTY PLANNING COMMISSION MINUTES**

---

**Archuleta County Planning Commission Minutes, Regular Meeting July 27, 2016**

The Archuleta County Planning Commission held a meeting on Wednesday, July 27, 2016, at 6:00 PM at the Archuleta County Commissioners Meeting Room, 398 Lewis Street, Pagosa Springs, Colorado. Chairman Frederick called the meeting to order.

**Commissioners in attendance:**

Michael Frederick, Anita Hooton, David Parker, and Betty Shahan. Commissioner Peter Adams had announced at the last meeting he would not be in attendance.

**Staff in Attendance:**

John Shepard, AICP, Planning Manager; and Sherrie Vick, Planning Tech

**Public in Attendance:**

Jess Ketchum, J.R. Ford, Mike Davis, Jim Bell, Sally Capistrant. See Attached sign in sheet for other members of the public.

**Consent:**

**May 25, 2016 Minutes:**

Chairman Fredrick asked if there were any changes to the minutes. The Chair wanted to have a clarification made to a sentence in the minutes. Commissioner Hooton Moved to approve the minutes with the amended wording. Commissioner Shahan seconded the minutes were approved with a vote 4-0

**June 8, 2016 Minutes:**

Chairman Fredrick asked if there were any changes to the minutes. The Chair wanted to have a clarification made in two areas of the minutes. Commissioner Hooton Moved to approve the minutes with the amended wording. Commissioner Parker seconded the minutes were approved with a vote 4-0

**Old Business:**

None

**New Business:**

**Public Hearing on Proposed Amendments to the Archuleta County Land Use Regulations**

Archuleta County Development Services is proposing amendments to the Archuleta County Land Use Regulations. The proposed changes:

- 1) Classify non-commercial marijuana cultivation as an Accessory Use and adopt limits and definitions,
- 2) Clarify provisions for Accessory Uses and Structures, and
- 3) Clarify cross-references and certain provisions of Table 1 and Table 4

This hearing was advertised in the Pagosa Sun as required by statute. Mr. Shepard presented proposed changes to the Land Use Regulations which the Board of County Commission directed staff to draft, and get direction from the Planning Commission on marijuana plant counts to be enforced through the Land Use Regulations. Mr. Shepard gave a brief history of the marijuana provisions directed towards Commercial Cultivation only, not addressing personal or medical caregivers. Citizens have expressed concern regarding the number of plants being grown in residential areas, and impacts on neighborhoods from smell, noise and crime, which is why the County is addressing these items now.

The proposal treats non-commercial marijuana cultivation as an Accessory Use. Personal use is being treated like gardening. The Colorado Constitution allow 6 plants per person over 21 years of age. The code amendment limits personal use to 12 plants per parcel. More detailed regulations are proposed for medical marijuana caregivers, who by definition are people growing plants for people with prescriptions. The caregivers can only be reimbursed for service and are not a commercial business. The State's new regulations will take effect January of 2017 limiting caregivers to 5 patients and 99 plants. The County proposed regulations limit caregivers to 36 plants, which does not allow for extended plant count

prescriptions. The extended plant counts could be accommodated by the licensed medical growers. Caregivers would need to comply with the State licensing provisions and the commercial licensing provisions for lights, noise, emissions and health and safety standards.

Under item two, changes need to be made so if a property owner built a greenhouse for licensed marijuana that they could use it as a regular greenhouse in those zones. Changes were made to address fencing on property to bring clarity to that portions and the requirements that marijuana growing had to be screened. In addition, changes are proposed to clarify portable accessory structures and allowing storage containers for use as storage.

Under item three, changes are clarifying review criteria in table 1 and setbacks in table 4.

Chairman Frederick had questions about the use of storage contains being allowed for residential storage units. Commissioner Hooton explain that in the past that was the intention of what was adopted to allow storage containers to be used as a portable storage unit for residential use and a limit on how many they could have.

Chairman Frederick opened the meeting for public comment.

Mr. Rowland, 231 Crestview, had questions about the requirement for a land use permit for the use of marijuana, the time frame to get a permit and how soon the regulations would be adopted and in effect. Mr. Shepard clarified that the March 2015 amendment did require a land use permit to grow marijuana, the time frame is about a month depending on the completeness for the application, and there was no set date of adoption of these amendments.

Chris Patane, 755 Squaw Valley Pl., expressed concern that he is not in compliance with the Land Use Regulations because he was told by the state and local drug enforcement that the grow he has is in compliance with the law. Mr. Shepard replied by way of the Chair that currently this was in violation of the Land Use Regulations and that was one of the reason the Board asked staff and the Planning Commission to make these amendments.

There was discussion on the plant count with the State's limit of 99 plants for caregivers and the County going to 36. Mr. Shepard noted the counties he researched were limiting around 36 plants. The discussion continued with concerns of enforcement with the State allowing 99 plants for caregivers licensed with the state.

Chris Frost stated that the state already has several regulations in place that the County could use for enforcement. Caregivers are allowed 99 plants and only 5 patients. People use caregivers because they cannot afford the licensed dispensaries. (This speaker started talking before coming to the podium and did not sign in for clarification of name and address.)

Public comment was closed at 6:48pm. Commissioner's discussed if there would be Variances from the plant count, or if plant counts could be more or less by zoning and lot size. It was discussed that the section need to be worked on further. Commissioner Hooton moved to continue this to the August 10, 2016 meeting. Commissioner Parker 2<sup>nd</sup> and the vote 4-0.

**Holiday RV South CUP, Parcel 3, Ridgeview Subdivision Replat at 633 Navajo Trail (PLN16-054)**

Jeremiah "J" Webb, Holiday RV South, Inc. of South Fork, CO, has applied for the Holiday RV South Conditional Use Permit, on property owned by the Bruce Lamereaux; being Parcel 3, Ridgeview Subdivision Replat, at 633 Navajo Trail, Pagosa Springs, CO (PLN16-054). The proposal will permit Outdoor Sales for Recreational Vehicles in the PUD zone. Public notice was provided to the applicant for publication in the Pagosa Springs Sun, to be posted on site, and to mail to adjacent property owners as required. Notice was originally mailed on June 1, 2016; however, the newspaper notice was not published on time and the public hearing was delayed to this date.

In July 2015, Holiday RV South Inc. of South Fork, Colorado, opened for business at 633 Navajo Trail, at the corner of Bastille Dr., without a Land Use Permit or approval from the Pagosa Lakes Property Owners Association (PLPOA). The business sells new and late model used recreational vehicles (RVs). Applicant also graded and finished RV parking display areas without County approval. There is unimproved property to the east and north, and an auto sales lot to the west.

This property is zoned PUD, and the project was approved by PLPOA on 5/19/2016, even though the recorded covenants state "the operations from such stores, shops or businesses shall be conducted entirely within an enclosed building." This property was approved as the one-lot Unique Mountain Log Homes PUD in the year 2000, as an office/sales building, under the regulations then in place. In 2005, the use was changed by Derek Lamereaux to the Clarion Mortgage Limited Impact Use (2005-02) for office space. After the Applicant occupied the property without required permits, County and PLPOA staff tried to work with him to determine appropriate approval process (since the property is located in the Planned Unit Development) and to complete an application packet. On November 15, 2015, the County Attorney ordered the property owner and Applicant to apply for a Conditional Use Permit. Applicant submitted an application on May 23, 2016, for a CUP and Variance from requirements for paving. The application was accepted, but lacked several items required by Sec. 3.2.3.2 of the Land Use Regulations, including:

- (3) No Site Development Plan. The sketch submitted is entirely inadequate for review against Development Standards or Engineering Standards. Parking lot layouts must be approved by the County Engineer.
- (8) Incomplete Proof of Ownership.

No public comments have been received. Review comments received include:

- County Engineering rejected the letter submitted as a Drainage Study, required by Sec. 5.3.4 of the Land Use Regulations. No RVs or other improvements could be located within the Vision Clearance Area (Section 5.4.7 of the Land Use Regulations) or Sight Triangle (Section 27.1.6.3 of the Road & Bridge Design Standards).
- Pagosa Fire Protection District: A cluster of Recreational Vehicles in close proximity can create a conflagration hazard, however, with adequate spacing between units (minimum 8'), the close proximity of a fire hydrant, and the lack of other exposures, the Pagosa Fire Protection District has no objections to the approval of this application.

Staff recommended the Planning Commission find that:

- a. The application meets the review criteria for a Conditional Use Permit in Section 3.2.3.4 of the Archuleta County Land Use Regulations, and
- b. The application meets the required findings for a Conditional Use Permit in Section 3.2.3.5 of the Archuleta County Land Use Regulations, and That the Planning Commission recommend approval of the Holiday RV South CUP, Parcel 3, Ridgeview Subdivision Replat at 633 Navajo Trail, with the following conditions:
  1. Applicant shall submit a detailed site development plan meeting the requirements of Section 3.2.3.2(3) of the Archuleta County Land Use Regulations, for approval by the Development Services Department, within 30 days.
  2. Applicant shall submit a drainage study, signed and sealed by a professional engineer, meeting the requirements of Section 5.3.4 of the Land Use Regulations, within 30 days.
  3. Applicant shall submit parking area construction plans signed and sealed by a professional engineer, as required by Section 5.4.5 of the Land Use Regulations and Section 27.1.7.4 Design Standards for Parking Areas in the Archuleta County Road and Bridge Design Standards, within 90 days.
  4. Recreational Vehicles shall not be parked in a Vision Clearance Area required by Section 5.4.7 of the Land Use Regulations, or Sight Triangle required by Section 27.1.6.3 of the Road & Bridge Design Standards.
  5. Recreational Vehicles shall only be parked with adequate spacing between units (minimum 8'), as required by the Pagosa Fire Protection District.

Chairman Frederick suggested to add a 6<sup>th</sup> condition proof of notice in the newspaper before scheduling the next public hearing. Chairman Frederick ask for clarification on the sight triangle and expressed a concern that the RV could be put right next to the property line and in the setback. Mr. Shepard responded the sketch provided is unclear because it does not have anything noted. \

Chairman Frederick asked if there was anyone present to represent this project no one came forward. The Chair continued and asked if anyone from the public had comment. Hearing none, the Chair continued and added to condition 4 that no RV be in the 30' setback and all documentation be submitted to the Planning Department before the project is submitted to the Board of County Commissioners for approval.

Commissioner Parker made a motion to recommend approval to the Board of County Commissioners, of the request for the Holiday South RV CUP, with the Findings A and B, and conditions 1-5 of the Staff Report and the modifications the Chairman added. Commissioner Hooton second. Vote 3-1 to approve.

**WHEC Event Center CUP, on Lot 2M, Fairgrounds Minor Impact Subdivision, at 344A US Hwy 84 (PLN16-071)**

Western Heritage Event Center, Inc., represented by Jess Ketchum, has applied for the WHEC Agricultural Education and Equestrian Event Center Conditional Use Permit (CUP), on Lot 2M, Fairgrounds Minor Impact Subdivision, at 344A US Hwy 84, Pagosa Springs, CO (PLN16-071). The proposal will permit a covered arena as a Public Use in the Agricultural/Ranching (AR) zone, in addition to the existing open arena and improvements at the Archuleta County Fairgrounds. Applicant has also made a concurrent request for Variances from Development Standards to be heard separately by the Board of Adjustment (PLN16-072).

Public notice was provided to the applicant for publication in the Pagosa Springs Sun, to be posted on site, and to mail to adjacent property owners as required.

Pagosa Springs Enterprises was established in 1949 and became the Western Heritage Event Center (WHEC). WHEC hosts two large-scale events each year, the 3-day Red Ryder Roundup Rodeo over Independence Day weekend, and the Archuleta County Fair, in cooperation with Archuleta County. WHEC is proposing to construct a 164'x250' covered arena on their tract, located south of the existing 210'x330' outdoor pipe arena. No additional seating is proposed at this time and no new traffic is expected to be generated. Existing gravel access will be improved to County standards. Pagosa Area Water and Sewer District (PAWSD) is also planning a new public water fill station, to be located in the utility easement on Lot 1 near the joint access along the County Road.

The Archuleta County Community Plan of 2001 provides guidance for future development. The Future Land Use Map shows this area as future commercial transitioning to Very Low Density Residential along US Highway 84. The Joint Town County Planning Commission Zoning Discussion 2010 map recognizes this parcel as suitable for Industrial development. The subdivision is zoned Agricultural/Ranching (AR), as is property to the south and private property to the east. The subdivision to the west across Highway 84 is zoned Commercial (C). Property to the north across County Road 302 (Mill Creek Road) has been annexed by the Town of Pagosa Springs, in anticipation of mixed-use development and is proposing to annex the road and have it paved within the next year or so. The developers of the Mountain Crossing development would also be required to make improvements the intersection of Highway 84 and Mill Creek Road, when specific development is proposed.

The Fairgrounds Minor Impact Subdivision was approved in 2001. In 2005, a minor lot line adjustment was approved to convey a new 6,000 square foot block building, with indoor bathrooms, from WHEC to the County for joint use. The Archuleta County Land Use Regulations do not currently provide for a private events center, so the existing WHEC property would be considered a non-conforming use that cannot be changed. However, a Public Use owned by a public agency is considered a Conditional Use in any zone. In this case, WHEC proposes to convey ownership of the structure to Archuleta County when completed, with continued joint use of the two properties at the Fairgrounds. Formal joint agreements will be necessary for cross-access and parking, as well as operations and maintenance, with approval of an Amended Plat.

The Events Center is proposed to be a public use facility, to be used for Equine events, rodeo, 4-H events, and Education & Training events. The facility would also be used for the primary annual events, the Red Ryder Rodeo and Archuleta County Fair, but would (according to Applicants) simply bring existing use under cover rather than adding additional traffic. Any events at the facility would have to meet the performance standards in Section 5.4.2 of the Land Use Regulations, limiting sound levels, vibration, smoke, and emissions, as well as requiring screening of any outdoor storage. Existing parking lot lighting will need to be replaced to meet the "dark skies" requirements for shielded lighting (Sec. 5.4.4). Parking for the Red Ryder Rodeo is limited by available seating; no parking plan was provided, and parking on-site is haphazard (without markers or flaggers) which increases chances for accidents and does not provide clear emergency (fire/ambulance) access. Access and parking is restricted during the County Fair. A turnaround may be necessary at the facility to meet County Road & Bridge standards. There is also an RV hook-up located on site for a seasonal caretaker. The Land Use Regulations provide

for occupancy of an RV for up to 120 days a year with a Temporary Use Permit. Occupancy beyond 120 days would require separate approval as an RV Park to assure health and safety concerns are met.

No public comments have been received. Review comments received include:

- County Engineering expressed concern that there is not enough improved gravel parking for horse trailers and vehicles using this arena.
- County Engineering accepted the Drainage Study provided by Davis Engineering, and requested the design engineer sign and seal approval that improvements are built according to plans.
- Pagosa Fire Protection District noted that the gravel access road does not meet the fire code requirement that access extends to within 150 feet of all portions of the facility. The District may be willing to grant an exception to increase the distance to 160 feet, if access can be provided to both north corners of the proposed building. The Fire District would require detailed building plans for review prior to issuing a building permit.
- Town of Pagosa Springs Planning Director commented that the Town is pursuing annexation of Mill Creek Road in conjunction with the Mountain Crossing development which will pave the road back to the asphalt plant; there should be consideration of constructing pedestrian facilities (sidewalk or trails) along the road; dust control may be necessary; and parking lot lighting should be shielded (dark skies requirements).
- CDOT review indicated the existing access on Mill Creek Road should provide adequate access; however:
  1. The western most access onto Mill Creek Road (on County property) is too close to Highway 84.
  2. Existing uses likely warrant improvements at Highway 84 and Mill Creek Rd.
  3. The existing access onto Highway 84 is too close to Mill Creek Rd and will need to be closed.
  4. A traffic impact study may be required.

An events center would typically have limits on operations to assure compatibility with near-by residences; however, the facility will be ultimately operated by Archuleta County. Addition of a gravel parking area on the east side of the arena, similar to the west side, would address concerns of both the Fire District and County Engineering, and provide a turnaround during the Fair.

A phasing plan may be necessary to address improvements to the intersection of Highway 84 and County Road 302, with participation by the County and Town. It may be worth proposing to CDOT that the main entrance become right-in/right-out, at least as an interim measure until further improvements are made to the intersection.

Staff recommended the Planning Commission find that:

- a. The application meets the review criteria for a Conditional Use Permit in Section 3.2.3.4 of the Archuleta County Land Use Regulations, and
- b. The application meets the required findings for a Conditional Use Permit in Section 3.2.3.5 of the Archuleta County Land Use Regulations, and

That the Planning Commission recommend approval of the WHEC Agricultural Education and Equestrian Event Center Conditional Use Permit (CUP), on Lot 2M, Fairgrounds Minor Impact Subdivision, with the following conditions:

1. Approval is contingent on the Board of County Commissioners' acceptance of proposed improvements; approval shall run with the proposed Events Center facility.
2. Uses will be limited to those described in the application and those approved by the Archuleta County Administrator.
3. All events shall be conducted in compliance with the Performance Standards in Section 5.4.2 of the Archuleta County Land Use Regulations, including (but not limited to) volume of sound, vibration, and emissions.
4. All outdoor lighting shall be installed in compliance with Section 5.4.4 of the Archuleta County Land Use Regulations.
5. A seasonal caretaker may occupy an RV on-site for up to 120 days per year.
6. A fire lane and additional parking for horse trailers shall be provided on the east side of the arena.
7. Applicants shall complete a Traffic Study prior to the public hearing before the Board of County Commissioners.

8. Applicants shall apply for a Development Agreement for review by the County Attorney and approval by the Board of County Commissioners, providing for cross-access and parking, and continued joint use, operations and maintenance.
9. Addresses for structures on this parcel shall be updated according to County policy.
10. Applicant shall submit a complete Building Permit application within one year of final approval, as required by Sec. 3.2.3.6 of the Archuleta County Land Use Regulations.

Chairman Frederick asked if there was a requirement for adding right-of-way. Mr. Shepard indicated not at this time; there may be other opportunities down the road to secure the right of way the town mentioned in its comments. Commissioner Hooton asked if the outdoor arena seating would remain. Mr. Shepard stated that it would remain and there would be no seating in the new arena; Applicant updated the plans and took the seating out.

Jesse Ketchum 98 Davidson Pl., spoke for the project. Mr. Ketchum stated that this is a work in progress and the Heritage group and the County need to sit down and look over what kinds of events will be hosted and the impacts these will have and can we accommodate them. Mr. Ketchum was asked about the trailer parking. Mr. Ketchum replied that paved parking for the trailers is not needed for the two major events. If this was a private facility that was going to be used daily or weekly then they could see the need for pavement but not at this time. Commissioner Shahan ask if the County had been contacted about putting gravel in that parking area. Mr. Ketchum stated that they asked the County for that but they are still working on the project and trying to keep the cost down within the budget of the funds that have been raised. There was discussion about the parking areas. Mr. JR Ford, County Rd 400, a WHEC Board member, was asked to come forward. Mr. Ford explained that there is already agreements with the County in place for parking. Historically the agreements were worked out verbally to keep a western heritage feel and activities on the property. Discussion took place about the CDOT comments of a possible change to the access to Highway 84 at Mill Creek Rd. The access at Highway 84 will be closed and improvements at Mill Creek Road will have to be worked out. There was discuss about the RV site and the condition staff suggested. The RV is there from June to September which does not exceed the requirements for the Land Use Regulations, and is there for security of the facilities during the summer and collection of fees.

Public comment was opened:

Randy Talbert, 156 Pompa Dr., was a member of Western Heritage. This building was designed to improve our 4-H programs and to be used in conjunction with the rodeo grounds like the La Plata County Fairground set up.

Mike Davis, 226 Woodland Dr., Addressed the Traffic study requested by CDOT. CDOT only has authority on the Highway, the County has authority on the County road, and it would fall to the County to make intersection improvements if the project is approved. The development is replacing facilities and making them nicer for the County Fair and the Rodeo and that would not increase the traffic. Mr. Davis expressed that a traffic study would not be useful for this application, since there is no metric for this type of use.

Roberta Tolan, 103 Escobar Ave., Extension Agent, explained the interest in the fair has grown and more young people are involved and they need a covered area to do the projects dealing with livestock.

The Chairman closed the public hearing. Chairman Frederick suggested that the parking requirements be omitted from the conditions and add a fire lane requirement on the east side of the building. Also that conditions 7 be omitted due to the development that will be taking place on the corner of Mill Creek and Highway 84.

Commissioner Hooton asked for discussion on the RV to be able to continue to be used year round. There was discussion around the use in the regulations but the applicant stated that the RV was only used for the four months and would not be used in the winter.

Commissioner Hooton moved to recommend Approval to the Board of County Commissioners, of the request for the WHEC Event Center CUP, with the Findings A and B, and conditions 1-5 as listed, modifying 6 to address the fire lane on the east side of the arena and remove condition 7, and 8-10 as listed in the staff report. Commissioner Shahan second. The vote was 4-0 to approve.

**Discussion of Property Owner Request for Land Use Text Amendment**

Property Owner Sally Capistrant has asked the Planning Commission to consider amending Table 5: Animal Regulations so that the Residential (R) zone has the same restrictions as Rural Residential (RR), in particular to allow domestic fowl (chickens, etc.) for residents of that zone.

Sally Capistrant of 200 Brookhill Dr. requested that the Planning Commission add chickens to the R zoning in the table for animals. Many people like having fresh eggs as a self-sustaining project with their gardens. Commissioners discussed how many and what types of fowl. Chairman Frederick asked Mr. Shepard to do some research and it was concluded that 4 fowl might be a good number to add to the R zoning, without roosters.

**Reports and Announcements:**

Mr. Shepard previewed the next meeting agenda.

**Next Meeting:**

Policy Meeting August 10, 2016 6PM  
Regular Meeting August 24, 2016 6PM

**Adjourn:** Commissioner Parker moved to adjourn the meeting, Commissioner Hooton seconded.  
Meeting adjourned at 9:05PM.

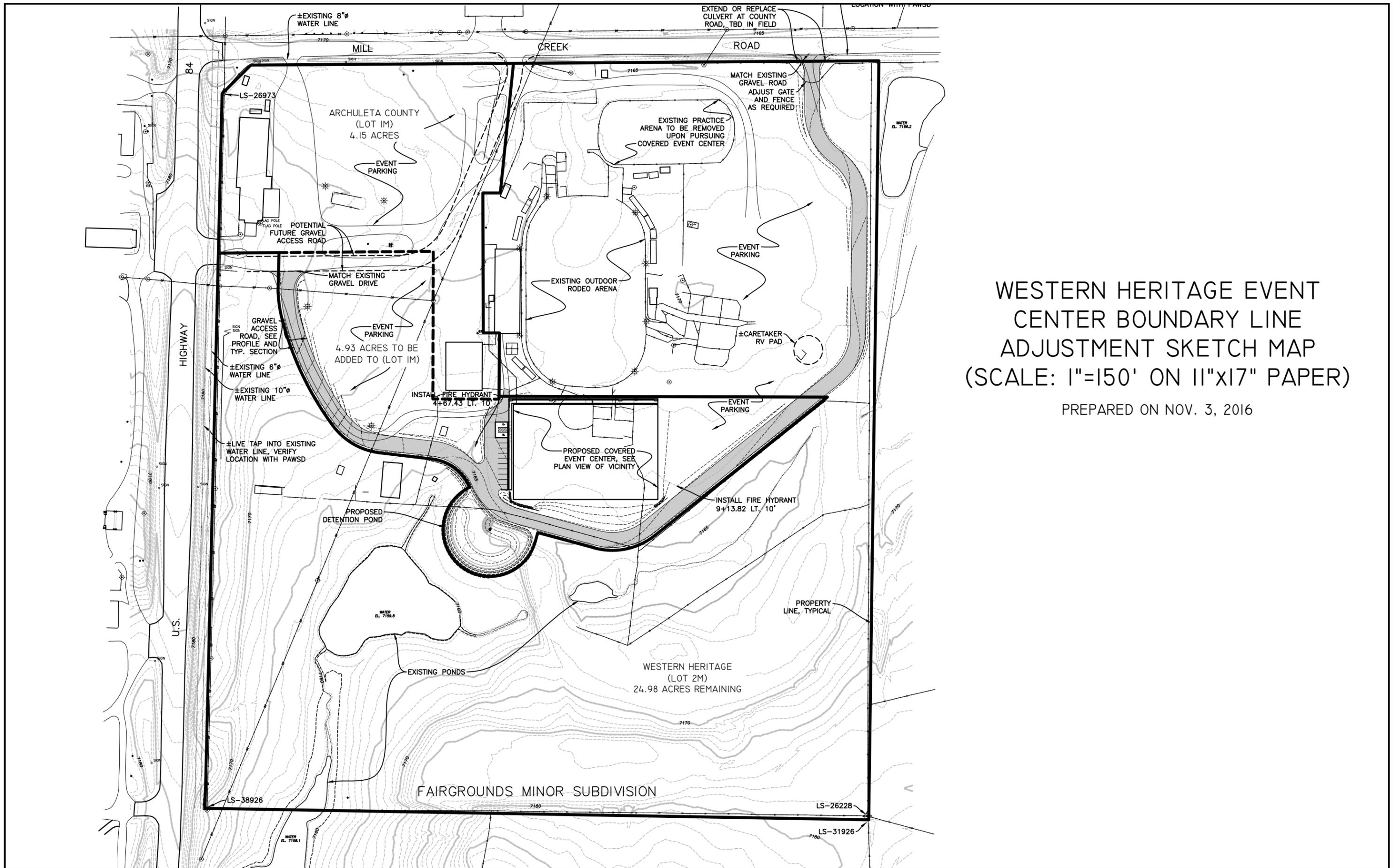
Approved this *14<sup>th</sup>* day of *September*, 2016



\_\_\_\_\_  
Sherrie Vick  
Planning Technician



\_\_\_\_\_  
Michael Frederick  
Vise Chairman



WESTERN HERITAGE EVENT  
 CENTER BOUNDARY LINE  
 ADJUSTMENT SKETCH MAP  
 (SCALE: 1"=150' ON 11"x17" PAPER)

PREPARED ON NOV. 3, 2016

<b>Potential Uses, Needs and Costs for Covered Arena at Fairgrounds</b>					
<b>Needs</b>	<b>Est. Costs</b>	<b>Timeline</b>	<b>Responsibility</b>		
Tractor, ground hog, water	\$40,000 plus maintenance	now	possible sharing with WHEC		
Panels & perm. Fencing	\$5,000	now	County/WHEC installs exterior fencing		
Gravel for parking areas	\$50,000 plus annual renewal	now	County		
Sand for arena		now	WHEC		
Portable Bleachers	\$18,000-\$20,000 /240 seats	now	County		
Build storage for bleachers, equip, panels	\$25,000-\$40,000	now	County		
400 amp electric to building	\$12,000-\$15,000	now	WHEC to bring to bldg., County to bring to stalls		
cover to protect sand during Fair	\$39/4' X 6' stall mat (\$5,000)	now	County		
Liability insurance		ongoing	County		
Administration	part-time staff needed	now	County		
Bldg./grounds Maintenance	Additional staff needed				
Plowing	Road and Bridge	ongoing	County		
increased utilities water, elec, propane	1-2% of cost of bldg. annually	ongoing	County		
Bathroom cleaning and supplies	\$30each @ 15x \$450	ongoing	County		
External lighting (needs LED)		now	WHEC		
<b>Potential revenue</b>					
space rental (\$130/day Durango)					
RV site rental for events					
<b>Potential Uses:</b>					
Now: WHEC, 4-H, Fair events, riding		now			
Later: concerts, auctions, sport events, private uses		future			



Archuleta County  
Development Services—Planning Department  
1122 HWY 84  
P. O. Box 1507  
Pagosa Springs, Colorado 81147  
970-264-1390  
Fax 970-264-3338

## MEMORANDUM

TO: Archuleta County Board of County Commissioners

FROM: John C. Shepard, AICP; Planning Manager

DATE: November 15, 2016

RE: Aamodt/Bourland Request for Final Plat Approval of Lake Pagosa Park Amendment 2016-01 to re-plat lots 10 and 11, Block 17, at 36 & 41 Tor Court, (PLN16-097).

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### EXECUTIVE SUMMARY

Paul and Barbara Aamodt, and Bonnie Bourland and Amanda Bourland, have applied for the proposed Lake Pagosa Park Amendment 2016 at 36 and 41 Tor Court, a Minor Lot Line Adjustment of Lots 10 and 11, Block 17 which goes directly to Final Plat review. There are homes on both lots—this project is proposed so the driveway for Lot 11 would not encroach on Lot 10.

At their meeting on October 26, 2016, the Planning Commission recommended approval (5-0) with conditions.

### REVIEW PROCEDURE

Section 4.6 of the *Archuleta County Land Use Regulations* provides for Plat Amendments, including minor boundary adjustments. Amended plats may proceed directly to Final Plat; a Lot Line Adjustment may be approved in a Public Meeting.

### DISCUSSION

Lake Pagosa Park Subdivision was approved in 1970, and is within the Pagosa Lakes Property Owners Association (PLPOA). Barbara and Paul Aamodt own lot 10, and Bonnie and Amanda Bourland own lot 11, fronting on Tor Court with Lake Pagosa to the rear. When the Aamodts built their home recently, it was discovered that the Bourlands' driveway encroached on lot 10. Rather than move the driveway, the neighbors have agreed to trade equal land area through a Minor Lot Line Adjustment.

The *Archuleta County Community Plan* of 2001, Future Land Use Map, designates this area for High Density Residential development. These parcels are also within the Joint Town-County Planning Area. Lake Pagosa Park, along with most of the property within PLPOA, is zoned Planned Unit Development (PUD). Both homes will continue to be in compliance with setbacks.

Criteria for submittal and approval of an Amended Plat is specified in Section 4.6 of the Land Use Regulations. Section 4.6.4.1 specifies that Staff review the plan for conformance with the Community Plan, the Land Use Regulations, and other adopted County policies and ordinances.

Section 4.6.4.3 states that amendments to a recorded plat may have to go through one or more steps of the subdivision review process—as this proposed amendment meets the requirements for a Minor Lot Line Adjustment, the application may proceed to Final Plat with approval by the Board of County Commissioners in a public meeting.

Comments were received prior to preparation of this staff report.

- The County Surveyor, County Recorder and County Assessor had technical comments on the plat, which has been revised (10/27/16).
- SourceGas asked that a utility easement be dedicated on the new side lot line. All existing platted utility easements remain unless specifically vacated (Section 4.6.2.4). The plat has been revised (10/27/16).
- PLPOA has approved the project.
- County Engineering, Pagosa Fire Protection District, Pagosa Area Water and Sewer District (PAWSD) and Town of Pagosa Springs Planning stated no concerns.

At their meeting on October 26, 2016, the Archuleta County Planning Commission recommended approval (4-0) with the following conditions:

1. The easement dedicated in Note Two shall be revised for general utility installation and maintenance.

The Plat was subsequently revised (10/27/16) to meet this condition.

#### RECOMMENDATION AND FINDINGS

**Based on evidence provided, staff recommends the Board of County Commissioners find that:**

- a. The application does meet the review criteria for development in a PUD district, in Section 3.1.6 of the *Archuleta County Land Use Regulations*, and
- b. The application does meet the review criteria for an Amended Plat, in Section 4.6 of the *Archuleta County Land Use Regulations*, and

**That the Board approve the Aamodt and Bourland request for the Lake Pagosa Park Amendment 2016-01 to re-plat lots 10 and 11, with no conditions.**

#### PROPOSED MOTION

**I move to approve the Aamodt and Bourland request for the Lake Pagosa Park Amendment 2016-01 to re-plat lots 10 and 11, with Findings A and B of the staff report.**

#### ATTACHMENTS.

Attachment 1: Area Maps

Attachment 2: Applicant Narrative

Attachment 3: Proposed Amended Plat



# Site Map

PLN16-097  
Lake Pagosa Park  
Amendment 2016  
MLLA

### Legend

- Highway
- Primary Road
- Lakes
- Parcels
- Project Location

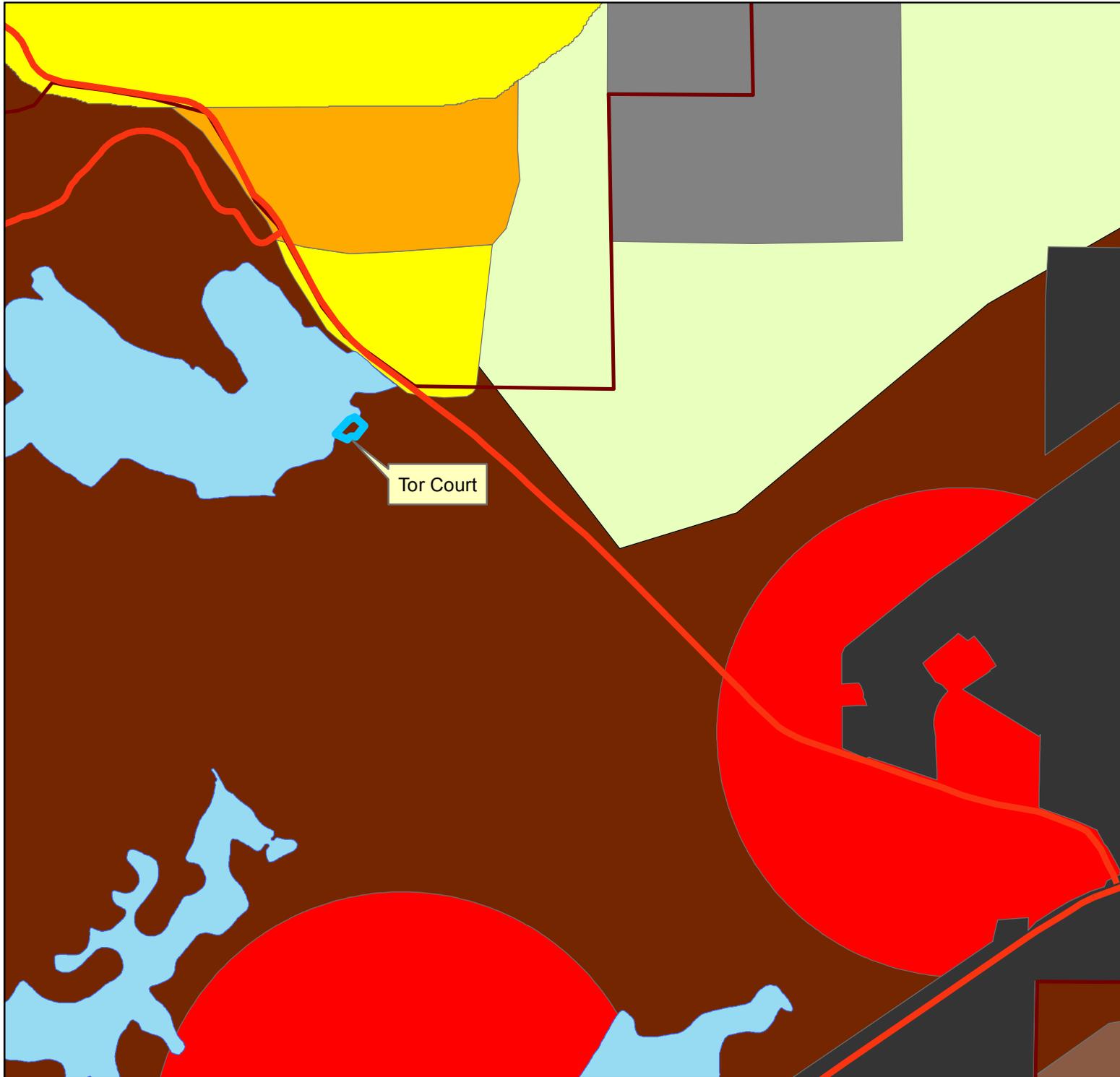


200 100 0 200 Feet



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

# Archuleta County Community Plan Detail: Future Land Use



## Legend

- Major Roads
- Rivers & Streams
- Lakes
- Critical Wildlife Habitat
- Migration Corridor
- Joint Planning Area
- Pagosa (2009)

- Tier 1
- Tier 2
- Industrial Park
- Commercial Area

## Future Landuse

- High density residential
- Medium density residential
- Low density residential
- Very low density residential
- Public land
- Village Center



Detail of map developed 21 Sept 2011

Archuleta County Development Services  
12 September 2016





# Site Map

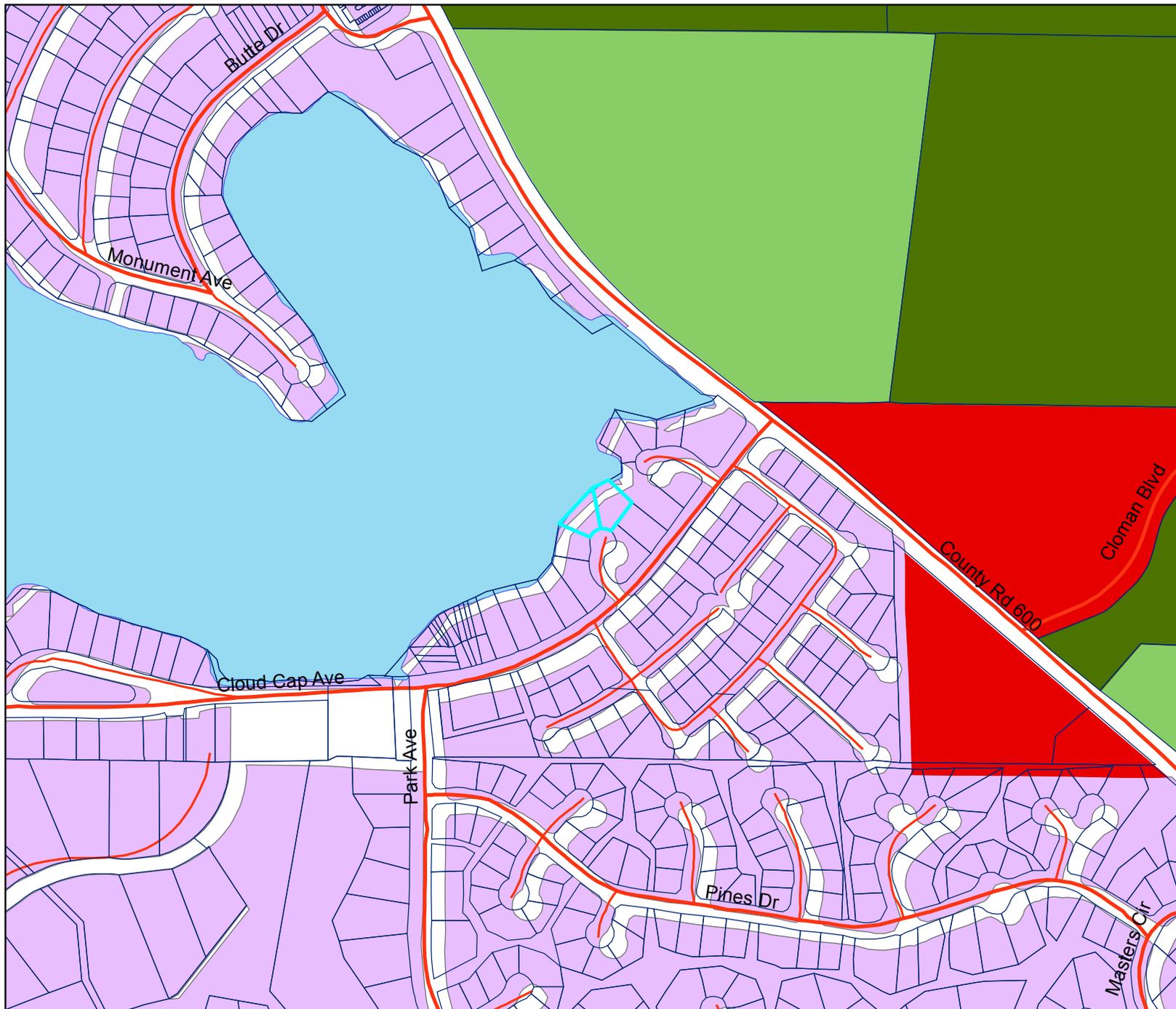
PLN16-097  
Lake Pagosa Park  
Amendment 2016  
MLLA

### Legend

- Highway
- Primary Road
- Lakes
- Parcels
- Zoning Map 2011**
- Zoning Districts**
- Agriculture Forestry (AF)
- Agriculture Ranching (AR)
- Agricultural Estate (AE)
- Rural Residential (RR)
- Residential (R)
- Mobile Home Park (MHP)
- Commercial (C)
- Industrial (I)
- PUD
- Project Location



200 100 0 200 Feet



This map has been produced using various geospatial data sources. The information displayed is intended for general planning purposes and the original data will routinely be updated. No warranty is made by Archuleta County as to the accuracy, reliability or completeness of this information. Consult actual legal documentation and/or the original data source for accurate descriptions of locations displayed herein.



# Site Map

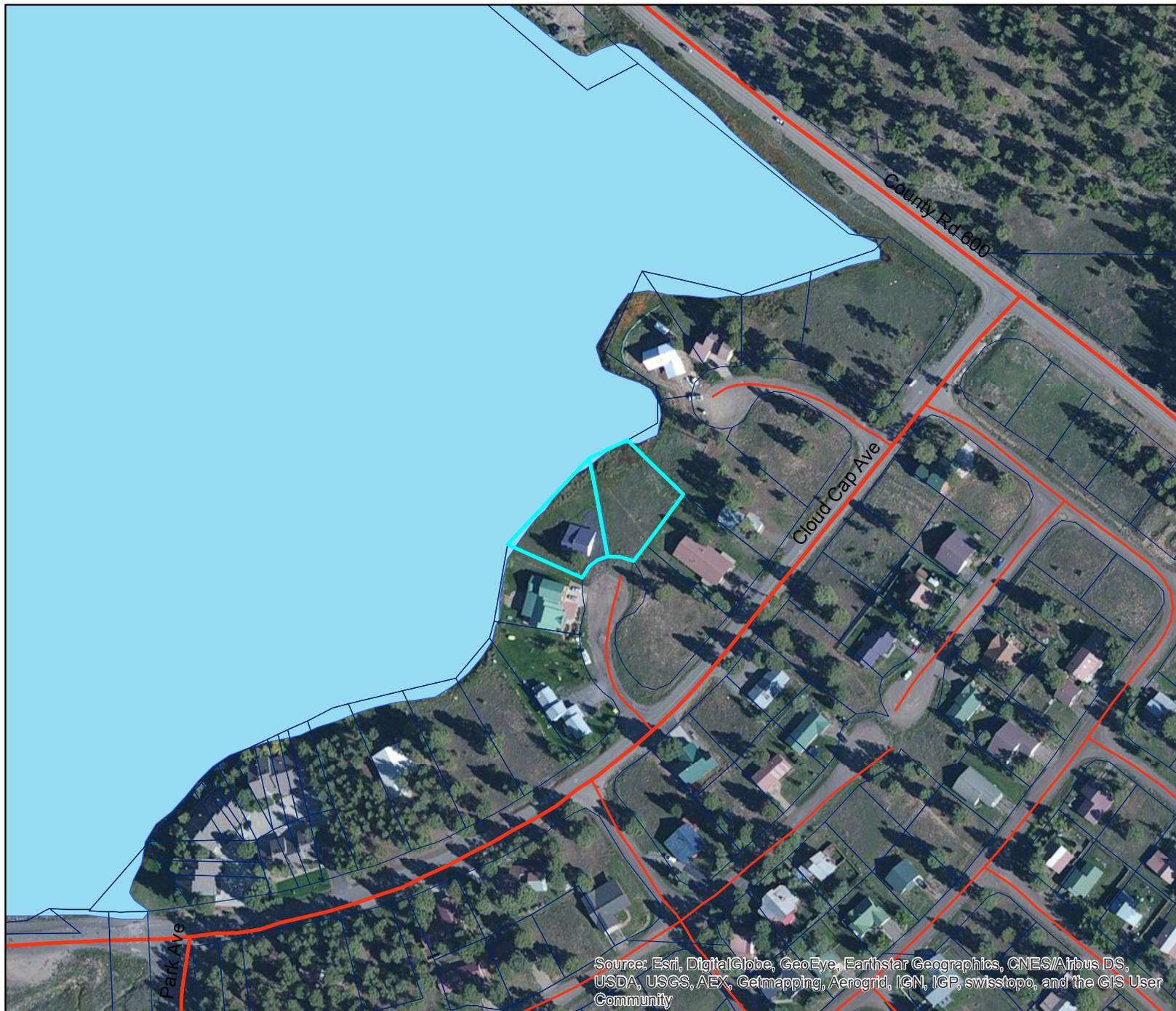
PLN16-097  
Lake Pagosa Park  
Amendment 2016  
MLLA

## Legend

- Highway
- Primary Road
- Secondary Road
- Lakes
- Parcels
- Project Location



100 50 0 100 Feet



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

## PROJECT: AAMODT TOR COURT LL ADJUSTMENT

### Project Narrative

In the early 1990s, Ralph and Angie Cirillo had a house built on Lot 11, Block 17 (36 Tor Court). In order to save a large pine tree on their lot, the house was sited close to the common lot line with Lot 10 to the northeast. Sometime later, the Cirillos had an asphalt driveway and parking area constructed on the east and north sides of their house. Because Lot 10 was vacant and undeveloped property, nobody noticed that the asphalt encroached on Lot 10 by as much as 14 feet.

Shortly after Paul and Barbara Aamodt purchased Lot 10 in early 2006, the asphalt overlap was identified as a potential easement issue. The Aamodts and Cirillos worked out an easement agreement, which was in effect until the Cirillos sold their house in about 2014.

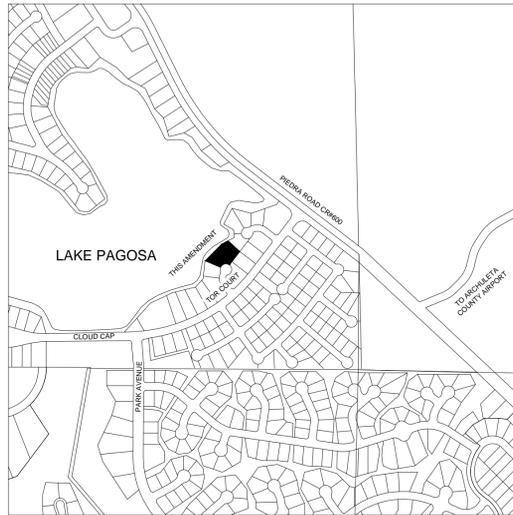
The northeast corner of the house on Lot 11 is only about 7 feet from the current lot line, and the garage on Lot 11 cannot be accessed by automobile without encroaching on Lot 10, nor can the parking area be readily used without some encroachment on Lot 10.

To correct these issues, the Aamodts and Bourlands have agreed to a minor lot line adjustment that would align the property line generally with the asphalt edge in exchange for an equal area of land fronting Lake Pagosa. This project will provide good access for the Bourlands, who own Lot 11, and will give the Aamodts a little more lake frontage on Lot 10, a win-win solution for both parties.

Furthermore, there are no utilities under or along this particular lot line, although a 5-foot easement does exist on each side. If desired by the local utilities, the 5-foot easement can be adjusted to fit with the new lot line.

# LAKE PAGOSA PARK AMENDMENT 2016-01

A LOT LINE ADJUSTMENT OF LOTS 10 AND 11 OF BLOCK 17  
CREATING LOTS 10Z AND 11Z OF BLOCK 17  
ARCHULETA COUNTY, COLORADO



LOCATION MAP  
SCALE: 1" = 1/8 MILE



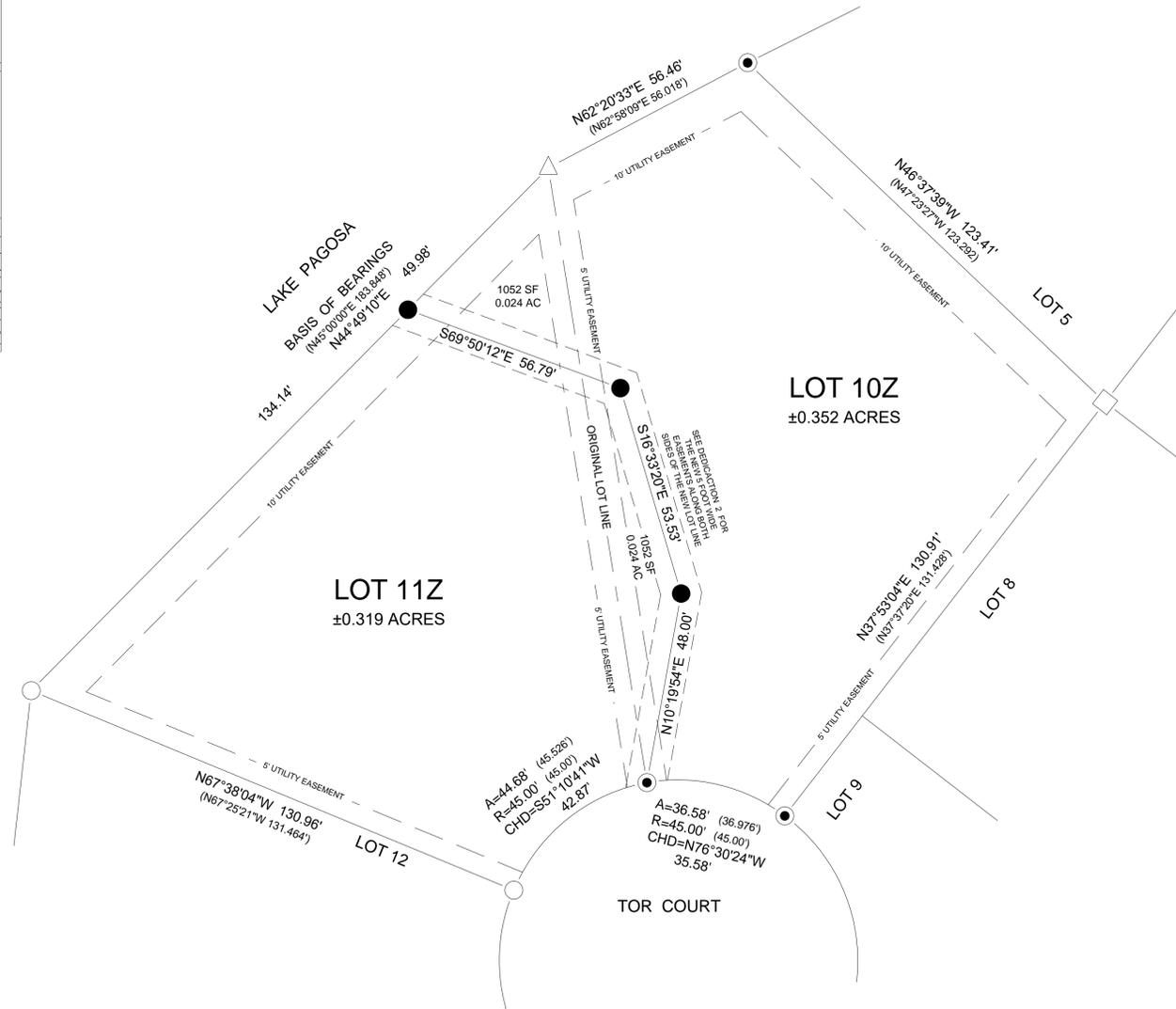
U.S. SURVEY FEET  
SCALE: 1" = 20'

**LEGEND:**

- FOUND 1/2" REBAR WITH NO IDENTIFICATION
- FOUND 1/2" REBAR WITH 1" PLASTIC CAP LS 26973
- ◇ FOUND 1/2" REBAR WITH 1" PLASTIC CAP LS 18970
- △ FOUND 5/8" REBAR WITH 1 1/2" ALUMINUM CAP ILLEGIBLE
- SET 1/2" REBAR WITH 1" PLASTIC CAP LS 26973

**NOTES:**

- 1) ALL MEASURED BEARINGS ARE BASED ON THE ASSUMPTION THAT THE NORTH LINE OF LOT 10 OF BLOCK 17, MONUMENTED AS SHOWN HEREON, BEARS N.44°49'10"E. - S.44°49'10"W..
- 2) EASEMENTS SHOWN HEREON WERE TAKEN FROM THE ORIGINAL PLAT OF LAKE PAGOSA PARK.
- 3) BEARINGS AND DISTANCES SHOWN IN PARENTHESIS WERE TAKEN FROM THE ORIGINAL PLAT OF LAKE PAGOSA PARK.



**CLERK AND RECORDERS CERTIFICATE**

STATE OF COLORADO  
COUNTY OF ARCHULETA

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE

AT \_\_\_\_\_ O'CLOCK, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

RECEPTION NUMBER: \_\_\_\_\_

PLAT FILE NUMBER: \_\_\_\_\_

BY: \_\_\_\_\_  
CLERK AND RECORDER

**PLANNING COMMISSION CERTIFICATE**

THIS PLAT AND THE STATEMENTS HEREON ARE APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016, BY THE PLANNING COMMISSION FOR ARCHULETA COUNTY, COLORADO. THIS APPROVAL DOES NOT EXTEND TO THE DESIGN OF UTILITIES, SEWAGE DISPOSAL, ROADS OR ANY OTHER SERVICE FACILITY.

BY: \_\_\_\_\_  
CHAIRPERSON

**APPROVAL TO RECORD**

HAVING ASCERTAINED THAT THE CONDITIONS OF APPROVAL HAVE BEEN SATISFACTORILY COMPLETED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016, THE BOARD OF COUNTY COMMISSIONERS APPROVE THIS PLAT FOR RECORDING BY THE COUNTY CLERK AND RECORDER. THIS APPROVAL DOES NOT EXTEND TO THE DESIGN OF UTILITIES, SEWAGE DISPOSAL, OR ANY OTHER SERVICE FACILITY.

BY: \_\_\_\_\_  
CHAIRPERSON

**DEDICATION:**

KNOW ALL PERSONS BY THESE PRESENTS: THAT BARBARA L. AND PAUL L. AAMODT OF P.O. BOX 271, LOS ALAMOS, NEW MEXICO 87544 AS TO LOT 10 ALONG WITH BONNIE AND AMANDA BOURLAND OF 36 TOR COURT, PAGOSA SPRINGS, COLORADO 81147 AS TO LOT, BEING THE OWNERS OF THE FOLLOWING DESCRIBED REAL PROPERTY, TO WIT:

LOTS 10 AND 11 OF BLOCK 17 OF LAKE PAGOSA PARK A SUBDIVISION RECORDED UNDER RECEPTION NO. 72998, ARCHULETA COUNTY, COLORADO. ALL LOCATED IN SECTION 8, TOWNSHIP 35 NORTH, RANGE 2 WEST, NEW MEXICO PRINCIPAL MERIDIAN.

HAS CAUSED THIS PLAT TO BE MADE AND DESIGNATED AS "LAKE PAGOSA PARK AMENDMENT 2016-01" AND FURTHER DECLARES:

- 1) ALL EXISTING EASEMENTS FROM PREVIOUSLY RECORDED PLATS ARE TO BE RETAINED.
- 2) AN EASEMENT 10 FEET IN WIDTH, BEING 5 FEET WIDE ALONG THE BOTH SIDES OF THE NEW LINE BETWEEN LOTS 10Z AND 11Z IS GRANTED FOR THE INSTALLATION AND MAINTENANCE OF UNDERGROUND UTILITIES.

IN CONSIDERATION OF THE APPROVAL OF THIS PLAT OF "LAKE PAGOSA PARK AMENDMENT 2016-01", THE DECLARANTS HEREBY WAIVE ANY AND ALL CLAIMS OF DAMAGES AGAINST ARCHULETA COUNTY OCCASIONED BY THE ALTERATION OF LAND SURFACES TO CONFORM TO THIS AMENDMENT PLAT.

**IN WITNESS THEREOF (LOT 10)**

THIS INSTRUMENT IS EXECUTED

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016

BARBARA L. AAMODT

THIS INSTRUMENT IS EXECUTED

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016

PAUL L. AAMODT

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016 BY BARBARA L. AND PAUL L. AAMODT

NOTARY PUBLIC: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC ADDRESS: \_\_\_\_\_

**IN WITNESS THEREOF (LOT 11)**

THIS INSTRUMENT IS EXECUTED

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016

AMANDA BOURLAND AND BONNIE BOURLAND (WITH AMANDA BOURLAND BEING THE AUTHORIZATION AGENT FOR BONNIE BOURLAND)

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016 BY AMANDA BOURLAND AND ALSO AMANDA BOURLAND BEING THE AUTHORIZATION AGENT FOR BONNIE BOURLAND)

NOTARY PUBLIC: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC ADDRESS: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, DEAN P. SCHULTZ, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS "LAKE PAGOSA PARK AMENDMENT 2016-01", WAS PREPARED UNDER MY DIRECTION, TRULY AND CORRECTLY REPRESENTS A FIELD SURVEY OF THE SAME, AND WAS MONUMENTED IN ACCORDANCE WITH CRS 38-51-105, 1973, AS AMENDED.

**COUNTY SURVEYOR'S CERTIFICATE**

THIS PLAT HAS BEEN REVIEWED AND APPROVED FOR STATUTORY COMPLIANCE, LEGIBILITY, FORM AND CONTENT ONLY AND MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF COLORADO. THIS CERTIFICATE DOES NOT REPRESENT A THOROUGH REVIEW OF CALCULATIONS, METHODOLOGY, OR THE CORRECTNESS OF THE BOUNDARIES DEPICTED HEREON.

ARCHULETA COUNTY SURVEYOR (OR DEPUTY) DATE

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

REVISIONS	LAKE PAGOSA PARK AMENDMENT 2016-01 A LOT LINE ADJUSTMENT OF LOTS 10 AND 11 OF BLOCK 17 CREATING LOTS 10Z AND 11Z OF BLOCK 17 ARCHULETA COUNTY, COLORADO		
SCALE	1" = 20'	DAVIS ENGINEERING SERVICE, INC. P.O. BOX 1208 PAGOSA SPRINGS, COLORADO 81147 PHONE: (970) 264-9055 FAX: (970) 264-9210	SURVEYED BY DPS
DATE	AUGUST 2016		DRAFTED BY DPS
CLIENT			FILED P06938

**RESOLUTION NO. 2016-\_\_\_\_**

**A RESOLUTION APPROVING THE CONSOLIDATION OF CERTAIN  
LOTS IN ARCHULETA COUNTY, COLORADO**

**WHEREAS**, the Board of County Commissioners of Archuleta County, Colorado, has heretofore adopted regulations relating to the consolidation of lots in Archuleta County, Colorado, (Resolution No. 2006-25); and

**WHEREAS**, the Board has received an application from Roger L. Cooper and Siri K. Cooper, to consolidate certain lots in Archuleta County pursuant to the regulations heretofore adopted by the Board; and

**WHEREAS**, the Board has found that Roger L. Cooper and Siri K. Cooper has met all the requirements contained in said regulations for Lot Consolidations and the Board may consolidate the hereafter mentioned lots.

**NOW THEREFORE BE IT RESOLVED** by the Board of County Commissioners of Archuleta County as follows: The Chair does hereby sign on authority granted by the Board of County Commissioners and approves the consolidation of Lots 13 and 15X, Pagosa in the Pines Block 6, according to the plat thereof filed for record March 13, 1970, as Reception No. 73014 through 73027 and further defined in Resolution No. 2010-70 recorded December 23, 2010 as reception No. 21009208 in the Clerk and Recorder Office, Archuleta County, Colorado, to become Lot 15XX with the condition that if, at a future date, there is a request to split or re-subdivide the consolidated lots, the applicant must comply with the applicable Land Use Regulations in effect at the time the application is made.

APPROVED AND ADOPTED DURING A MEETING DULY AND REGULARLY CALLED, NOTICED, CONVENED AND HELD IN PAGOSA SPRINGS, ARCHULETA COUNTY, COLORADO, this 15<sup>th</sup> day of November, 2016.

The Board of County Commissioners  
Archuleta County, Colorado

ATTEST:

\_\_\_\_\_  
June Madrid,  
Archuleta County Clerk and Recorder

\_\_\_\_\_  
Chairman Michael Whiting

Return copy to Planning Dept.



High Country Title, Inc.  
Post Office Box 2400  
486 Lewis Street  
Pagosa Springs, CO 81147  
(970) 264-2128 Office  
(970) 264-2130 Fax

**OWNERSHIP & ENCUMBRANCE REPORT  
O&E-16-3650**

October 18, 2016

Roger Cooper

RE: O&E Report 16-3650 (Consolidation)

\*\*\*\*\*

**PROPERTY DESCRIPTION(S):**

**Lots 13 and 15x, Block 6, Pagosa In The Pines, according to the plat thereof filed March 13, 1970, as Reception Nos. 73014 thru 73027 and further defined at Resolution No 2010-70 recorded December 23, 2010 at Reception No. 21009208, all in the office of the Clerk and Recorder, Archuleta County, Colorado.**

**TAX SCHEDULE NO(S):**

5699-162-08-013 as to Lot 13  
5699-162-08-030 as to Lot 15X

**VESTED OWNER(S):**

**Roger L. Cooper and Siri K. Cooper by Warranty Deed as to Joint Tenants recorded September 12, 2008 as Reception No. 20807162 in the office of the Clerk and Recorder, Archuleta County, Colorado.**

**Roger L. Cooper and Siri K. Cooper by Warranty Deed as to Joint Tenants recorded March 1, 2010 as Reception No. 21001292 in the office of the Clerk and Recorder, Archuleta County, Colorado.**

**LIEN(S) AND ENCUMBRANCE(S) OF RECORD AS OF October 13, 2016 @ 8:00 a.m.:**

NONE

Any tax, assessment, fee or charge by reason of the inclusion of the subject property in the Owner's Association (If any) as supported by the most recent Certificate of Taxes Due, issued by the Archuleta County Treasurer's Office.

  
\_\_\_\_\_  
Authorized Signature

THE INFORMATION SET FORTH IN THIS REPORT IS BASED ON A CAREFUL SEARCH AND EXAMINATION OF THE RECORDS OF THE ARCHULETA COUNTY CLERK AND RECORDER'S OFFICE. HOWEVER, THIS REPORT IS NOT TO BE CONSTRUED AS AN ABSTRACT OF TITLE, NOR AN OPINION OF TITLE, NOR A GUARANTY OF TITLE, AND THE LIABILITY HEREIN SHALL NOT EXCEED THE AMOUNT PAID FOR THIS REPORT.

Date: November 9, 2016

To: Board of County Commissioners  
Kate Alfred, Airport Manager

From: Ralph Goulds, AAC Chair

Re: Vacancy on Airport Advisory Commission (AAC) Board

The term of one member of the AAC expires December 31, 2016.

The AAC followed appropriate guidelines advertising the open position and received only one Letter of Interest, that from Mr. John Vander Horck the outgoing member.

After reviewing the Letter of Interest from Mr. John Vander Horck, and considering his experience and previous service to the Commission, the AAC recommends he be appointed for another three (3) year term beginning January 1, 2017.



Ralph Goulds, Chair  
Airport Advisory Commission



Archuleta County Airport  
*Stevens Field*

AIRPORT ADVISORY COMMISSION  
BYLAWS

*(Approved by AAC 11-9-2016)*

**Article I Purpose**

The Airport Advisory Commission, hereafter referred to as the AAC, was established by the Archuleta County Commissioners, Resolution 2005-10 on 15 March 2005. The AAC shall act in an advisory capacity to the Board of County Commissioners (BoCC) and the Airport Manager in matters relating to the Airport including:

Review of Capital Improvement Project (CIP) and Airport Operating Budget annually.

Assist the Airport Manager when requested in the interpretation of rules, regulations, policies and procedures.

Report to the BoCC, when necessary, on issues affecting the Airport.

Perform any duties and responsibilities requested by the BoCC and/or Airport Manager which may be beneficial for the safe, efficient and self-sufficient operation of the Airport.

**ADDED:** Provide two AAC members for input and participation in the Archuleta County process of interviews and selection of the Archuleta County Airport Manager when a vacancy occurs.

**Article II Membership**

The AAC shall be composed of nine members, five of whom shall be voting members recommended by the AAC and approved by the BoCC. The remaining four shall be the County Administrator, the Airport Manager, the Town of Pagosa representative and the FBO representative, each of whom shall be non-voting ex-officio members. All members shall be residents of Archuleta County and be at least 18 years of age on the date of their appointment. Members serve without compensation.

**Article III Term of Membership**

Each regular term of membership on the AAC shall be three years, with operational years being January 1 – December 31<sup>st</sup>. Terms of membership shall be staggered as provided for in the Authorizing Resolution. Members may be reappointed for successive terms. The ex-officio members' term shall coincide with their respective position tenure. An outgoing Board Member may make application to be re-elected to the Board for another term, but must follow the same procedures as all candidates, and the AAC shall conduct an impartial selection process in order to recommend applicants whom they feel best serve the needs of the AAC.

The AAC process to fill vacancies is as follows:

- In October the Chair will review all Board Members terms and determine upcoming vacancies to be filled. The Chair will request the Airport Manager contact the County to have an ad placed asking interested parties to submit their business resume. The resumes should be mailed / emailed to the County. After the deadline, resumes will be picked up by the Airport Manager and delivered to the AAC Chair for review. *Note: The vacancy notice process requires three - four weeks from notification to receipt of applications.*
- At the AAC November meeting:  
The AAC will discuss applicants and vote on candidates.  
The AAC Chair will send a Letter of Candidate Recommendation to the Airport Manager who will submit it to the County for approval at the next BoCC Meeting.  
The Chair shall notify all applicants of the outcome of the application process by letter or email.  
New member terms will begin January 1.
- At the AAC December meeting:  
The AAC Chairman will formally announce new members; officers will be elected for the upcoming year.

#### **Article IV Vacancies**

A member may resign upon written notice to the AAC Chairman and may hold office until a successor has been appointed. When there is a vacancy, the AAC makes a recommendation to the BoCC for new member appointment. When a member resigns, the AAC may elect not to fill the vacancy until the end of the year.

#### **Article V AAC Meetings and Specially Called Meetings**

~~Meetings shall be held the third Wednesday of March, June, November and December at 9:00 am.~~  
Meetings shall be held in October, November and December and shall be open to the public and conducted in accordance with the Colorado Open Meetings Law. Notification, including Agenda, shall be posted on the Document Board at 398 Lewis Street, Pagosa Springs, CO a minimum of 24 hours prior to the posted meeting.

Specially Called Meetings shall be held when the AAC determines a need. They shall be open to the public and conducted in accordance with the Colorado Open Meetings Law. Notification, including Agenda, shall be posted on the Document Board at 398 Lewis Street, Pagosa Springs, CO a minimum of 24 hours prior to the posted meeting.

## **Article VI      Officers**

Following election of new AAC members, the AAC shall select a Chair, Vice Chair and Secretary for the upcoming year at the December meeting. Members may only hold the same office for two consecutive terms, and only if re-elected to that position.

## **Article VII      Currency of Bylaws**

The AAC shall review these Bylaws on an annual basis to ensure they accurately reflect the way in which business is conducted. These Bylaws may be amended, altered or repealed at an AAC meeting by a majority quorum vote of the members.

**ORDINANCE NO. 17-2016**

**AN ORDINANCE OF THE BOARD OF COUNTY COMMISSIONERS OF  
ARCHULETA COUNTY, COLORADO, ADOPTING VEHICLE TYPE  
AND SPEED REGULATIONS FOR CASCADE AVENUE**

**WHEREAS**, Title 42, Article 4, section 111, C.R.S., as amended, authorizes the Board of County Commissioners (Board) reasonable exercise of police power with respect to roads and highways under its jurisdiction; and

**WHEREAS**, pursuant to §42-4-111(1)(c) and (i), C.R.S., the Board may adopt, by ordinance, laws to regulate traffic by means of Official Traffic Control Devices and alter or establish speed limits; and

**WHEREAS**, pursuant to §42-4-106(3), C.R.S., the Board, with respect to highways under their jurisdiction, may restrict or prohibit operation of trucks or commercial vehicles on designated highways or may impose limitations as to the weight thereof, which prohibitions and limitations shall be designated by appropriate signs placed on such roads; and

**WHEREAS**, §30-15-402, C.R.S., as amended, authorizes the Board to execute the penalty assessment procedure provided in §§42-4-1701 and 42-4-1703, C.R.S., and §§42-4-1708 to 42-4-1718 C.R.S. shall apply; and

**WHEREAS**, uniform speed limits are established in § 42-4-1101, C.R.S., unless traffic investigations or study considering various specified factors justifies a deviation from the established speeds; and

**WHEREAS**, the speed limits in the remaining areas of Archuleta County conform with the state and federal standards; and

**WHEREAS**, this Ordinance is adopted in furtherance of the health, safety and welfare of the citizens of Archuleta County.

**NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF ARCHULETA, STATE OF COLORADO THAT:**

Section 1. Title

This Ordinance shall be known as the Cascade Avenue Traffic Regulations.

Section 2. Purpose

This Ordinance is for the purpose of promoting the health, safety and welfare of the citizens of Archuleta County, Colorado by protecting the citizens of Archuleta County by restricting certain vehicles and regulating the speed on Cascade Avenue.

Section 3. Definitions

3.1 Highways. Public roads in the unincorporated area of Archuleta County.

3.2 Official Traffic Control Devices means all signs, signals, markings and devices, not inconsistent with the titled, placed or displayed by authority of a public body or official having jurisdiction, for the purposes of regulating, warning or guiding traffic.

3.3 Vehicle means any device that is capable of moving itself, or of being moved, from place to place upon wheels or endless tracks.

Section 4. Access Restriction.

Cascade Avenue henceforth shall be restricted as to through traffic with the exception of resident and local truck traffic only.

Section 5. Speed Limits Established.

The speed limited on Cascade Avenue shall have a speed limit of twenty-five (25) miles per hour.

Section 6. Exception

The Board of County Commissioners specifically exempts emergency vehicles and school buses from the terms of this Ordinance.

Section 7. Violation

7.1 It shall be unlawful for any person to violate any provisions of this ordinance or to disobey any Official Traffic Control Devices referenced herein. The summons and complaint issued to persons for the violation of the ordinance shall be filed in the County Court of Archuleta County, Colorado, and the persons so cited shall be tried in such court. All persons found guilty of violating this ordinance shall be fined pursuant to §§42-4-1701 and 42-4-1703, C.R.S., and §§42-4-1708 to 42-4-1718 C.R.S.

7.2 All fines collected from violation of the provisions of this ordinance shall be directed to the Treasurer of Archuleta County, Colorado who shall deposit said sums in the Archuleta County General Fund.

7.3 The provisions of this ordinance shall be cumulative to the fullest extent permitted by law with respect to all other statutes or ordinances now or hereafter adopted regardless of their order of passage or enactment.

#### Section 8. Enforcement

The Sheriff of Archuleta County, Colorado and duly authorized deputies of said Sheriff shall be charged with the enforcement of this ordinance.

#### Section 9. Conflicts

This Ordinance does not conflict with any statute or provisions thereof the State of Colorado.

#### Section 10. Severability

If any part or parts of this ordinance are for any reason held to be invalid, such provisions shall not affect the validity of the remaining portions of this ordinance.

#### Section 11. Effective Date

This Ordinance shall be published in The Pagosa Sun and shall be filed with the Archuleta County Clerk and Recorder and shall be effective thirty (30) days after adoption and publication, as required by C.R.S. §30-15-405.

INTRODUCED, READ AND ADOPTED ON FIRST READING, IN PAGOSA SPRINGS, ARCHULETA COUNTY, COLORADO, this 15th day of November, 2016, and ordered published in the Pagosa Springs Sun.

Board of County Commissioners

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Michael Whiting, Chairman

ATTEST:

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June Madrid, Clerk and Recorder

ADOPTED ON SECOND AND FINAL READING on the \_\_\_\_\_ day of December, 2016, and ordered published by reference to title only in the Pagosa Springs, Sun.

Board of County Commissioners

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Michael Whiting, Chairman

ATTEST:

---

Clerk and Recorder

CERTIFICATE

I hereby certify that the foregoing Ordinance No. 17-2016 was introduced, read and adopted on first reading at the regular meeting of the Board of County Commissioners of the County Archuleta on November 15, 2016, and the same was published in full in the Pagosa Springs Sun, a newspaper of general circulation in Archuleta County, on November \_\_\_\_\_, 2016, and thereafter was adopted on second and final reading at a regular meeting of the Board of County Commissioners of the County of Archuleta on December 6, 2016. Said Ordinance was published by title only on December \_\_\_\_, 2016. Said Ordinance shall become effective as of January \_\_\_\_\_, 2017.

---

Clerk and Recorder

**MEMORANDUM OF AGREEMENT  
BETWEEN  
SOUTHWEST COLORADO COUNCIL OF GOVERNMENTS  
AND ARCHULETA COUNTY REGARDING LEASING FOR SCAN INFRASTRUCTURE**

THIS AGREEMENT made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2016, by and between the SOUTHWEST COLORADO COUNCIL OF GOVERNMENTS (hereinafter referred to as “SWCCOG”), whose address is PO Box 963, Durango, CO 81302, and its member Archuleta County (hereinafter referred to as the “County”), whose address is PO Box 1507, Pagosa Springs, CO 81147, concerns appointment of SWCCOG as the County’s Agent for Dark Fiber Lease Agreements over SCAN Fiber, invoicing private parties, collection of payments, disbursement of funds, or payment to SWCCOG of Dark Fiber Lease Agreements of SCAN Fiber by the County, which Parties do hereby state and agree as follows:

**PREMISES:**

The SWCCOG recognized a need to improve telecommunication capabilities, capacity, reliability, and availability among SWCCOG member areas in order to affect economic development, improve community anchor institutions efficiency and accessibility, and reduce telecommunication costs for community anchor institutions (community anchor institutions are “Schools, libraries, medical and healthcare providers, public safety entities, community colleges and other institutions of higher education, and other community support organizations and agencies that provide outreach, access, equipment and support services to facilitate greater use of broadband service by vulnerable populations, including low-income, the unemployed and the aged”); and

The SWCCOG was the recipient of a Colorado Division of Local Affairs (hereinafter referred to as “DOLA”) grant for telecommunication infrastructure improvements; and

The SWCCOG initiated and recently completed the Southwest Colorado Access Network (SCAN) project to provide telecommunication connection in participating communities to a regional network through a variety of economically viable and sustainable models; and

The County is a SWCCOG member and received DOLA grant funds to help build its SCAN infrastructure; and

The County may wish to have SWCCOG assist the County in implementing the County’s Dark Fiber Link Lease Agreements (“DFL’s”) by serving as its exclusive agent with respect to leasing Dark Fiber Links over SCAN Fiber to Internet Service Providers (“ISP’s”), invoicing ISP’s, collection of payments from ISP’s, and disbursement of a percentage of those funds to the County; and

The County understands that SWCCOG intends to perform these same services for other members with respect to their SCAN assets; and

It is desirable to describe in greater detail the arrangement between the Parties and to further specify leasing, invoicing, collection of payment, and disbursement of funds procedures between the SWCCOG and the County concerning SCAN Fiber DFL’s.

NOW, THEREFORE in accordance with the above recitals, the SWCCOG and the County do hereby agree:

1. Policy.

The attached policy, Exhibit A, concerning leasing, invoicing, collection of payment, and disbursement of funds concerning DFL's are agreed to and shall be followed by the parties hereto with respect to SCAN installed Fiber only Under no circumstance is the SWCCOG required to incur cost or legal fees in pursuit of or collection of delinquent accounts.

2. Subject Contracts.

This MOU is only for purposes of SCAN installed Fiber. The form that the SWCCOG will use with respect to the County's DFL's that are the subject of this MOU are approved by the parties and attached hereto as Exhibit B. During the term of this MOU and any renewal of this MOU, the County hereby appoints the SWCCOG, acting by and through its Executive Director, as its exclusive agent to enter into, and execute the DFL's on behalf of, and binding, the County.

3. Effective Date, Term and Termination.

This agreement shall become effective upon the date of the last signature by the authorized representative of both parties. Subject to annual appropriations, this MOU shall automatically renew. Either party may terminate this memorandum of understanding at any time by providing the other party written notice 90 days prior to termination, with or without cause.

4. Payment and Disbursal of Funds

The SWCCOG will disburse 25% of the gross funds received from the private parties (gross revenues) to the County, and the SWCCOG will retain 75% of the gross funds collected (gross revenues) as its payment for services provided hereunder. Payment by the SWCCOG to the County shall be yearly and in arrears of the receipt of funds. County may opt to not use the SWCCOG as its leasing agent with respect to SCAN Fiber Dark Fiber Links, however, in such situations, the County shall still pay the SWCCOG 75% of the revenues generated by SCAN Fiber Dark Fiber Leases, and retain for itself 25% of the revenues, to be remitted by the County to the SWCCOG on a quarterly basis.

5. Acts or Omissions

Each party is responsible for any damage caused to the other party as a result of the acts or omissions of that party's employees, agents, or representatives.

6. Governmental Immunity

The party's hereto do not waive their governmental immunity.

7. Breach  
Any failure of either party to perform in accordance with the terms of this agreement shall constitute a breach. Failure to cure the breach within thirty business days after written notice to the address contained herein shall be grounds for the non-breaching party to terminate this agreement and exercise all legal remedies available. All obligations to pay damage or loss, and to indemnify shall survive termination. Any dispute concerning the performance or interpretation of the MOU which cannot be resolved by the designated points of contact or their immediate superiors shall be referred to the party's chief administrative officer (Town/City/County Manager or SWCCOG Executive Director). If the matter is not resolved within 45 days after referral, either party may file legal action. Any litigation will be filed in District Court of La Plata County or if federal law applies, in the applicable Colorado Federal District Court.
8. No Special Damages.  
Notwithstanding any other provision hereof, neither party shall be liable for any damages for loss of profits, loss of revenues, loss of goodwill, loss of anticipated savings, loss of data or cost of purchasing, replacement services, or any indirect, incidental, special, consequential, exemplary or punitive damages arising out of its performance or failure to perform under this Agreement.
9. It is understood and agreed that this Agreement does not establish a separate legal entity, nor does it make any party as an agent of any other party for any purpose whatsoever, except as specifically stated herein. The County shall be responsible for all installation, maintenance and operation costs related to its own dark fiber equipment, property, and infrastructure. SWCCOG is not responsible for maintenance of the County's dark fiber or associated equipment nor is it liable for damage of any kind occurring to the County's property, unless such damage is caused by SWCCOG negligence or intentional misconduct.
10. Annual Appropriation  
It is understood and agreed that each party's performance shall be subject to appropriation of funds by governing body, and payment of such funds into the treasury of such party.
11. Costs of Performance.  
Each party shall, at all times, and subject to annual appropriation, be responsible for its own costs incurred in the performance of this Agreement, and shall not receive any reimbursement from any other party, except for third party reimbursements.
12. Severability  
It is understood and agreed by the parties hereto that if any part, term or provision of this Agreement is by the courts held to be illegal or in conflict with any law of the State of Colorado, the validity of the remaining portions or provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if the Agreement did not contain the particular part, term, or provision held to be invalid.

13. Construction

Each and every term, provision, or condition herein is subject to and shall be construed in accordance with the provisions of Colorado law, the Charters of the various parties, and the ordinances and regulations enacted pursuant thereto.

14. Assignment

This Agreement may only be assigned with the express written consent of the parties, and will thereafter be binding upon the successors and assigns.

15. Third party beneficiaries

It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the named parties hereto, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other or third person on such Agreement. It is the express intention of the named parties that any person other than the named parties receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

16. Authority

Archuleta County represents to SWCCOG that it has all right and authority to enter into this agreement, and to enter into the attached form of DFL with ISPs, and that its dark fibers links are available for lease (other than those identified above by the Archuleta County as excluded from lease below).

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement the day and year first above written.

AGREED:

BOARD OF COUNTY COMMISSIONERS  
OF ARCHULETA COUNTY

\_\_\_\_\_  
Michael Whiting, Chairman

\_\_\_\_\_  
Date

SOUTHWEST COLORADO COUNCIL OF GOVERNMENTS

\_\_\_\_\_  
Miriam Gillow-Wiles, Executive Director

\_\_\_\_\_  
Date

## **EXHIBIT A**

1. Archuleta County shall be responsible for:
  - a) Installation, maintenance, and operation costs related to its own SCAN equipment and dark fiber.
  - b) Identifying to the SWCCOG which SCAN Dark Fiber Links are available for lease.
  - c) The following SCAN Dark Fiber Links are to be excluded from SWCCOG invoicing \_\_\_\_\_. With respect to these excluded SCAN Dark Fiber Links, Archuleta County agrees that it will remit to SWCCOG, on a quarterly basis, 75% of the proceeds received by the Archuleta County from above listed SCAN Dark Fiber Links.
  - d) Archuleta County agrees that it will not lease the SCAN Dark Fiber Links at a rate lower than the SWCCOG Lease Rate.
  - e) Timely providing to the SWCCOG detailed information, and as built plans and maps of any updates or changes made to the SCAN network made by Archuleta County or its agents.
  
2. The SWCCOG shall be responsible for:
  - a) Quarterly billing in advance of usage to ISP
  - b) Yearly remittance to Archuleta County in arrears
  - c) Executing and managing DFL's on behalf of Archuleta County
  - d) Provide Archuleta County with copy of executed DFL's.
  - e) Include Archuleta County on communications regarding DFLs
  - f) Be responsible for maintaining a map of the SCAN network.
  
3. Lease rate of Dark Fiber Links shall be \$110.00/strand/mile per month, two strand minimum, rounded up to the nearest whole number with respect to miles. This amount may change by action of SWCCOG. Non SCAN Dark Fiber is not bound to the \$110/strand/mile.

Archuleta County agrees to conduct all negotiations for the SCAN non-excluded DFL's only through SWCCOG, and to refer to SWCCOG all communications received in any form from ISP's with respect to prospective leasing of the SCAN DFL's, during the term, and any renewal, of this MOU.

# Memorandum

TO: Chairman Michael Whiting and the Archuleta County Board of Commissioners

DATE: November 9, 2016

FROM: Bentley Henderson

RE: Adoption of Position Classification Pay Scale

## BACKGROUND

As part of the 2016 budget, the Board of County Commissioners authorized the expenditure necessary to conduct a comprehensive salary study. Staff initiated the process to procure the services of a consulting firm to conduct that study. In late June the Austin Peters Group was selected and began the process of collecting the data necessary to evaluate our wage ranges and individual positions against the greater market. One component of the scope of work was the development of new wage ranges and the reclassification of all of our positions. Over the course of the past few weeks staff has worked with the consultants on the evaluation of those new ranges, and the position placements therein. That detailed analysis has produced, among other things, the information provided for your consideration today. In order for staff to complete the work necessary to implement phase I of the study, adoption of the position classification pay scale is necessary.

## CONCLUSIONS

As evidenced in the information provided at your 11-15-2016 work session, the evaluation done by the consulting group was very comprehensive. The study revealed much of what staff had predicted. Over time, the County has not been able, by no real fault of their own, to keep up with the market as it relates to market equity in our pay structure. Generally speaking, our over-all pay and grade structure has averaged from 10% to 15% below market with a number of those grades in excess of 25% low.

As evidenced in the work session the total amount necessary to achieve the adjustments recommended by the survey is in excess of \$400,000. In an effort to minimize the budget impact, staff has recommended a three phase implementation approach. Phases I and II have been calculated, and upon adoption of the revised Classification Pay Scale, staff move forward with implementation.

## RECOMMENDATION

Staff recommends adoption of the 2016 amended Position Classification and Pay Scale for Archuleta County.

**ARCHULETA COUNTY**  
**Position Classification**  
**Pay Scale - Effective 11-15-2016**

Administrative & Professional	Job Title	FLSA	Grade	Minimum	Maximum
			101		
			102		
	Part-Time Office Assistant (Planning)		103	\$30,098	\$42,141
	Office Assistant - DHS			\$14.47	\$20.26
	Administrative Assistant I (Administration)		104	\$32,635	\$45,698
	Administrative Assistant I (Airport)				
	Administrative Assistant I (DHS)				
	Appraiser I				
	Personal Property Appraiser				
	Deputy Clerk I				
	Deputy Treasurer I				
	Eligibility Technician				
	Elections Administrator		105	\$35,422	\$49,608
	Accounting Clerk III				
	Accountant III				
	Statistician (Assessors Office)				
	Planning/Permit Technician				
	4-H Coordinator				
	Veterans Service Officer				
	Recording Supervisor		106	\$38,438	\$53,810
	Administrative Assistant II (extension Office)				
	Administrative Assistant II (public works)				
	Engineering Technician				
	Caseworker I (DHS)				
	Case Services Aid/Fraud & Claim Tech				
	Life Skills Worker				
	Family Advocate				
	Child Support Legal Tech				
	Deputy Treasurer				
	Computer Support Specialist				
	GIS Analyst				
	Deputy Assessor		107	\$40,498	\$58,386
	Chief Deputy Clerk				
	Chief Deputy Treasurer				
	Casework Therapist	Exempt			
	Caseworker II (DHS)	Exempt			
	Accountant - Finance	Exempt	108	\$45,261	\$63,315
	Accountant - DHS				
	Transportation Program Coordinator				
	Executive Assistant		109	\$49,067	\$68,702
	DHS Attorney	Exempt			
	Airport Manager	Exempt	110	\$53,269	\$74,547
	IT Coordinator	Exempt			
	Casework Supervisor (DHS)	Exempt			
	Resource Manager (DHS)	Exempt			
	Chief Building Official				
			111		
	Human Resources Administrator	Exempt	112	\$62,691	\$87,776
	Planning Manager	Exempt			
	Finance Director	Exempt	113	\$68,370	\$95,784
	County Engineer	Exempt			
	Public Works Director	Exempt	114	\$73,798	\$103,314
			115		
	Human Services Director	Exempt	116	\$86,902	\$121,618
	County Administrator	Exempt	117	\$94,266	\$131,976
				\$45.32	\$63.45

**ARCHULETA COUNTY**  
**Position Classification**  
**Pay Scale - Effective 11-15-2016**

Trades & Labor	Job Title	FLSA	Grade	Minimum	Maximum
			201		
			202		
	Part-Time - Transfer Station Attendent		203	\$30,098 \$14.47	\$42,141 \$20.26
	Custodian				
	Weed & Pest Tech. (seasonal)				
	Bus Driver (FT, PT & Substitute)				
	Assistant Mechanic				
	Equipment Operator I		204	\$32,635 \$15.69	\$45,698 \$21.97
	Equipment Operator II		205	\$35,422 \$17.03	\$49,608 \$23.85
	Solid Waste Facilities Operator				
	Airport Maintenance & Operations Specialist		206	\$38,438 \$18.48	\$53,810 \$25.87
	Maintenance Technician				
	Mechanic				
	Production Control Specialist				
	Roadway Inspector				
	Equipment Operator III		207	\$40,498 \$19.47	\$58,386 \$28.07
	Senior Mechanic				
	Road & Bridge Supervisor		208	\$45,261 \$21.76	\$63,315 \$30.44
		209			
Fleet Shop Supervisor	Exempt	210	\$53,269 \$25.61	\$74,547 \$35.84	
Weed & Pest Supervisor	Exempt				
Lead Land Fill Operator					
		211			

**ARCHULETA COUNTY**  
**Position Classification**  
**Pay Scale - Effective 11-15-2016**

<b>Public Safety</b>						
<b>Administrative</b>	<b>Job Title</b>	<b>FLSA</b>	<b>Grade</b>	<b>Minimum</b>	<b>Maximum</b>	
		Administrative Assistant (Sheriff)		304	\$32,635	\$45,698
	Evidence & Records Technician		\$15.69		\$21.97	
			305			
			306			
			307			
	Office Manager		308	\$45,261	\$63,315	
				21.76	30.44	
<b>Non-P.O.S.T Certified Positions</b>	Part-Time Dispatcher		404	\$32,635	\$45,698	
	Seasonal Firefighter			15.69	21.97	
	Emergency Operations Deputy		405	\$35,422	\$49,608	
				\$17.03	\$23.85	
	Court House Security Officer		406	\$38,438	\$53,810	
	Deputy Director of Emergency Management					
	Detention Officer					
	Dispatcher					
	Lead Dispatcher		407	\$40,498	\$58,386	
	Alt. Sentencing & Pre Trail Coordinator			\$19.47	\$28.07	
			408			
			409			
			410			
			411	\$62,691	\$87,776	
				\$30.14	\$42.20	
	Emergency Communications Manager	Exempt	412	\$62,691	\$87,776	
	Emergency Operations Director	Exempt		\$30.14	\$42.20	
<b>P.O.S.T Certified Positions</b>			501			
			502			
			503			
			504			
			505			
			506			
		Patrol Deputy		507	\$40,498	\$58,356
					\$19.47	\$28.07
		Detective		508	\$45,261	\$63,315
		Part-Time Investigator				
		Detention Sergeant				
		Patrol Coproral				
		Patrol Sergeant		509	\$49,067	\$68,704
					\$23.59	\$33.03
		Detective Sergeant		510	\$53,269	\$74,547
			\$25.61		\$35.84	
			511			
	Undersheriff	Exempt	512	\$62,691	\$87,776	
				\$30.14	\$42.20	